

REPORT TO: SCRUTINY COMMITTEE – 24TH MARCH, 2022

REPORT ON: ROOF TILE FIXINGS TO DOMESTIC PROPERTIES – BACKGROUND INFORMATION

REPORT BY: HEAD OF DEMOCRATIC AND LEGAL SERVICES

REPORT NO: 103-2022

1.0 PURPOSE OF REPORT

1.1 The purpose of this Report is to provide background information regarding Roof Tile Fixings to Domestic Properties to aid scrutiny.

2.0 RECOMMENDATIONS

2.1 It is recommended that the Committee note the background information provided at Appendices 1 to 4.

3.0 FINANCIAL IMPLICATIONS

3.1 None.

4.0 MAIN TEXT

4.1 Roof Tile Fixings to Domestic Properties

At its meeting on 22nd November 2021 the Policy and Resources Committee:-

- (i) noted the findings of the review, and that officers had concluded that the roof installations during this period did not meet best practice as set out in the British Standards;
- (ii) approved works to be undertaken to bring the affected roofs up to the standard recommended in British Standards at an estimated cost of £4.4m, inclusive of an allowance for Housing staff resourcing and professional fees;
- (iii) noted the corrective action and compliance monitoring measures set in place to ensure specification, execution and managing of construction works were undertaken to appropriate industry standards;
- (iv) noted that, as part of the corporate Legislative and Regulatory Updates assignment being carried out by Internal Audit, current arrangements in place, within the Design and Property Division, Construction Services and Housing, would be reviewed to ensure that relevant new or changed legislative and regulatory requirements were identified and, where appropriate, addressed timeously;
- (v) required officers to obtain an independent and external view, in addition to the internal audit process, to provide assurance that any and all failures identified within the report and any subsequent findings that stemmed from the internal audit investigations, were fully and unquestionably addressed. Such work should reinforce accountability, transparency and confidence in service delivery. This work to be completed as soon as possible with an update on progress by the end of February, 2022;
- (vi) instructed officers to provide a detailed overview of how the corrective actions detailed in section 5.3 of the report differed from those undertaken during the roofing work carried out between 2015 and 2019; and
- (vii) noted that the report would be referred to a future Scrutiny Committee.

(Article XV of the minute of meeting of the Policy and Resources Committee of 22nd November, 2021 – Report No 335-2021 refers).

Attached at Appendices 1 to 4 is background information to aid scrutiny.

5.0 POLICY IMPLICATIONS

This report has been subject to an assessment of any impacts on Equality and Diversity, Fairness and Poverty, Environment and Corporate Risk. There are no major issues.

6.0 CONSULTATIONS

6.1 The Council Management Team were consulted in the preparation of this report.

7.0 BACKGROUND PAPERS

7.1 None.

ROGER MENNIE, Head of Democratic and Legal Services

DATE: 16th March, 2022

APPENDIX 1

Roofs Information for Bailie Macpherson - page 5

“A” series documents refer to Camperdown 2nd Development Phase 2 produced by DCC Architects at Pre-Contract Stage:

Ai – Roof & Floorplans	Page 6
Aii – Elevations	Page 7
Aiii –Specification Notes	Page 8
Aiv –Location Plan	Page 9
Av –Eaves Detail	Page 10
Avi –Verge Detail	Page 11
Avii – Party Wall Detail	Page 12
Aviii – Soil Vent Pipe Detail	Page 13

“B” series documents refer to St Mary’s 10th Development Phase 3 produced by DCC Architects at Pre-Contract stage:

Bi – Roof Plans & Specification (Building A)	Page 14
Bii – Minutes of Pre-start Meeting	Page 15
Biii – Russell Roof Tiles Fixing Specification	Page 19
Biv – Location Plan	Page 20
Bv – Cloaked Verge Detail	Page 21
Bvi – Roof Plans & Specification (Building B)	Page 22
Bvii – Elevations (Building A)	Page 23
Bviii – Eaves Detail	Page 24
Bx – Separating Wall / Roof Junction Detail	Page 25
Bxi – Ridge Detail	Page 26
Bxii – Chimney Capping Detail	Page 27
Bxiii – Front and Back Chimney Detail	Page 28
Bxiv – Chimney Refurbishment Detail	Page 29
Bxv – Chimney Flashing Isometric Detail	Page 30

“C” series documents refer to St Mary’s 10th Development Phase 3 produced by DCC Clerk of Works, DCC Construction Services or DCC Architects during Construction:

Ci – Clerk of Works Weekly Report	Page 31
Cii – Photograph showing stamped tiling batten (Clerk of Works)	Page 33
Ciii – Photograph showing double-nailed roof tile (Clerk of Works)	Page 34
Civ – Request for Information (Construction Services)	Page 35
Cv – Architects Instruction	Page 36
Table of Contents	Page 37

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ROOFS INFORMATION FOR BAILIE MACPHERSON

Design Information

Prior to the 2015 update to BS 5534 it was customary for the Architects team to specify the fixing of concrete tiles to be “in accordance with the manufacturer’s specification”. This ensured that, should a different roof tile be installed from that specified, that the manufacturer would be consulted by the Contractor to request the relevant fixing specification. This custom continued after the 2015 update to BS 5534 which sought to standardise practice across the EU by adoption of Eurocode standards for wind uplift calculations, resulting in more onerous fixing requirements for single-lap concrete roof tiles in the UK. Documents Ai, Aii, & Aiii date from May 2015 and demonstrate this specification as issued for Camperdown 2nd Development, Phase 2 roof replacement programme. Documents Aiv – Aviii show the other drawings included as part of the contract documents.

Updated Design Information

Since it came to light that the roof replacement projects had not been installed in accordance with the 2015 update of BS 5534, the design information (drawings and specification) provided to the Contractor has been updated to refer specifically to the latest version of BS 5534 and to note that the contractor is to obtain a site-specific fixing specification from the roof tile manufacturer, and that historic fixing practices are not to be used. Procurement regulations prevent the designer from specifying a manufacturer or particular product, therefore the actual specification of the roof tiles is not known to the designer until after the design information is produced and issued for tender. Document Bi is a drawing from a current roofing project – St Mary’s 10th development phase 3, showing the updated specification.

Document Bii is a copy of the pre-start meeting minutes where it is noted the Contract Administrator asked Contract Services to obtain a copy of the site-specific fixing specification from the roof tile manufacturer. Contract Services confirmed the manufacturer to be Russell Roof Tiles and the tile to be Double Roman and asked the Contract Administrator to obtain the site-specific fixing specification from Russell Roof Tiles. All those who attended the meeting or gave apologies are copied into all project documentation.

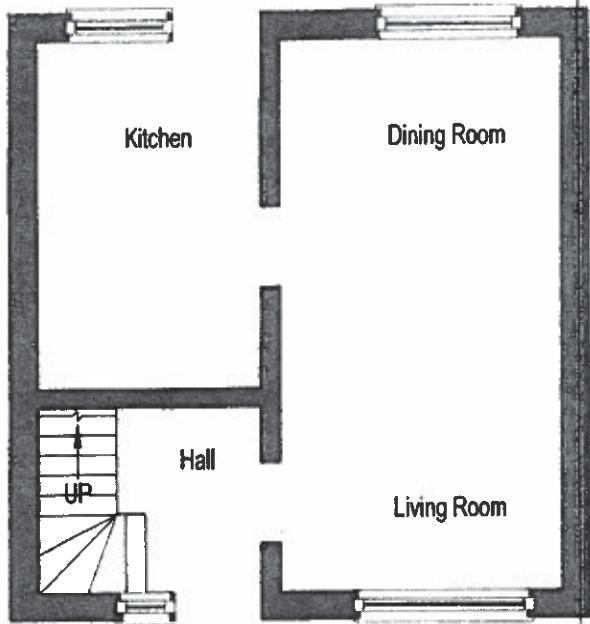
Document Biii is a copy of the site-specific fixing specification obtained from Russell Roof Tiles and issued to the project team.

Documents Biv – Bxv show the extent of the layouts and construction details issued to the Contractor in the course of the design and delivery of the project.

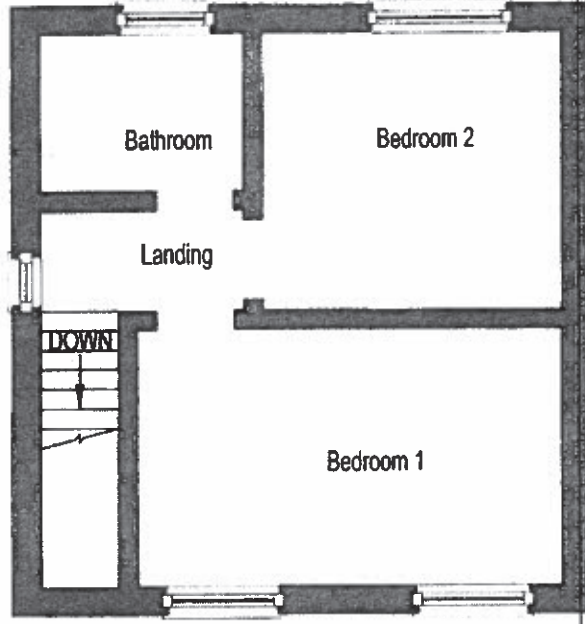
Enhanced Clerk of Works Checking Procedures now in place

The above design information, pre-start meeting minutes, and site-specific fixing specification establish that historic fixing practices are not to be used. This information is communicated to the whole project team by the issue of these documents.

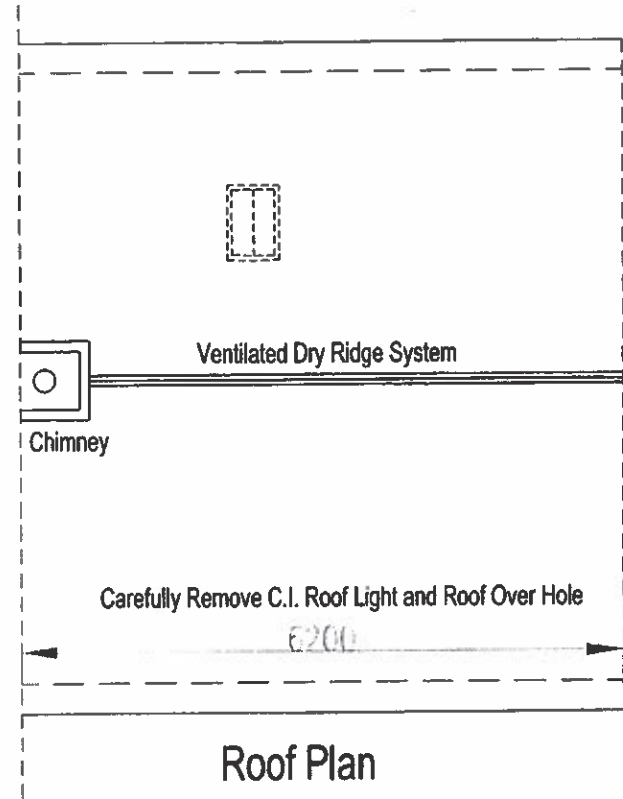
The Clerk of Works visits the site regularly to inspect the progress of the works and produces a weekly report detailing his findings – see document Ci. As noted in this report, a digital photo record of the project in progress is retained by the Contractor. Image Cii shows a tiling batten stamped with the information required by BS5534, and image Ciii shows the concrete roof tile fixed to the tiling batten with two nails as required by BS 5534. During the project, requests for additional information are made in writing by the Contractor by the issue of an Request For Information (RFI) document – see document Civ. Confirmation of queries is via the RFI returned to the contractor, whereas variations to the contract specification or drawings require either a Clerk of Works Direction (which must be confirmed by an Architects Instruction) or an Architects Instruction – see document Cv, which is issued to the whole project team.



Ground Floor Plan



First Floor Plan



Roof Plan

New Roof Tiles
 Marley
 Double Roman
 Single-Lap Concrete Roof Tiles
 Colour : Old English Dark Red

Ridge
 Marley
 Segmental Ridge Tile
 Colour : To Match Roof Tile

Cloak Verge
 Marley
 Double Roman
 Cloak Verge Tile
 Colour : To Match Roof Tile

Chimney
 See Lead Sheet Manual
 Chimney Flashings and Details
 Code 4 or 5 Lead
 See DWGs 404 and 405

Chimney - Demolition
 Carefully Take Down Existing
 Redundant Chimney
 To Be Confirmed

Existing Cimney
 Examine Existing Chimney
 and Report Defects
 See Notes 400 and 401

Existing Expansion Pipe
 Fit Ubbink WEP Pipe
 Colour and Profile to Match
 New Roof Tiles.
 Extend Expansion Pipes
 Where Required
 To Be Checked on Site

Existing Expansion Pipe
 Carefully Remove
 Redundant Expansion Pipes
 To Be Checked on Site

List of Addresses

- 18,32,38,1,7,9 Brownhill Place
- 7,14,18 Brownhill Street
- 7,13 Liff Crescent

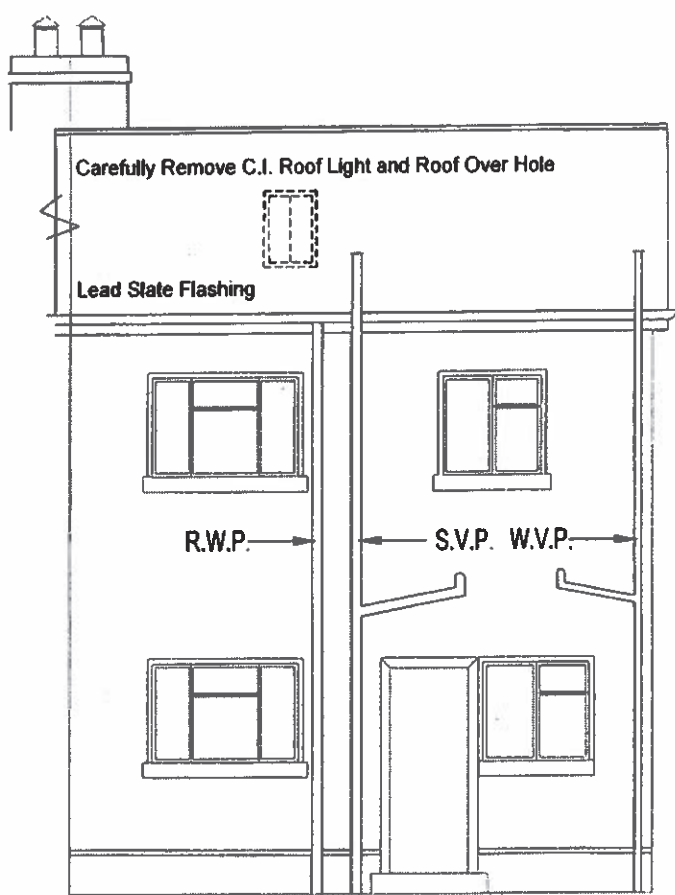
CONTRACT

15 JUN 2015

ISSUE

 Dundee City Council Support Services Patricia McIlquham Director.	Revision	Project Title	Camperdown 2nd Development Pitched Roof Replacement Phase 2	Checked	Scale	Date	Rev.
	 ISO 9001	Drawing Title	Roof and Floor Plans	1:50	7/05/15		
ARCHITECTURAL SERVICES, [Redacted] City Architectural Services Officer, Floors 11/12 Tayside House, 28 Crichton Street, Dundee, DD1 3RQ. Tel: [Redacted] Fax: 01382 433034		Checked		Scale	1:50	Date	7/05/15

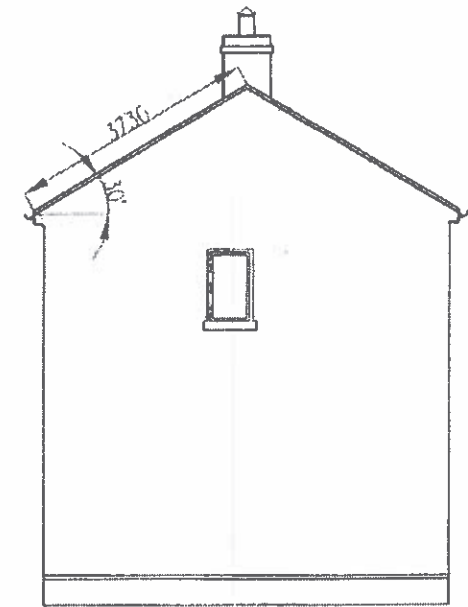
A



Rear Elevation



Front Elevation



Gable Elevation
Scale 1:100

CONTRACT
15 JUN 2015
ISSUE

Expansion Pipe
Fit Ubbink WEP Tile
Colour and Profile to Match
New Roof Tile

Existing Expansion Pipe
Carefully Remove Redundant
Expansion Pipes
To Be Checked on Site

S.V.P. and W.V.P.
See Detail DWG 404

See Notes DWG 400 and 401

Abutment at Gable Wall
Carefully Cut a Neat Chase (Raggle)
in Wall. Size Approx. 15x30mm
For New Lead Sheet Flashings
See Lead Details DWG. 406

Existing Chimney
Examine Chimneys and Report
Defects

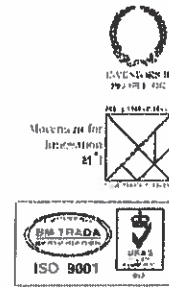
New Roof Tiles
Marley
Double Roman Roof Tiles
Colour : Old English Dark Red

Eaves
New Cellular PVC Fascia and Soffit
See DWG. 402

Render
Make Good Existing Render

Verge
Cloak Verge Tile and Cellular
PVC Barge - Board Detail
See DWG 403

S.V.P. and W.V.P.
See DWG 404



Revision

Dundee
City Council

Support Services
Patricia McIlquham
Director.

Project Title: Camperdown 2nd Development
Pitched Roof Replacement
phase 2

Drawing Title: Elevations

Checked: [Redacted] Date: 7/05/15

Scale: 1:50

Checked/ File Ref.: 15-51

Dwg. No.: 300

ARCHITECTURAL SERVICES, [Redacted] City Architectural Services Officer, Floors 11/12
Tayside House, 28 Crichton Street, Dundee, DD1 3RQ, Te: [Redacted] Fax: 01382 433034

AI

New Roof Tiles

Marley
 'Double Roman'
 Colour : Old English Dark Red
 Interlocking Concrete Roof Tiles
 See Manufacturers Printed Instructions
 See Marley Technical Details

New Underlay

New Underlay - Protek non woven underlay on
 OSB sarking to replace Celotex
 Min. Horizontal Lap 100mm Min.
 Vertical Lap 150mm Min.

Counter Battens

Size : 38x25mm Treated timber Counter Batten
 Counter Batten Centres to Match Existing
 Rafter or Truss Centres where possible

Tile Battens

Size : 38x25mm Treated Timber Tile Batten

Tiling

Headlap Min. 100mm

Fixing

All Tiles Fixed with Tile Clip and Nail Where Possible
 See Marley technical Details

Ridge

Marley Ventilated Dry Ridge System
 Mechanically Fixed with Rigid Sarking
 See Marley Technical Details
 Cut Back Underlay-Undertiling Felt and Sarking Boards
 for Unobstructed Roof Ventilation
 Min. 5mm gap for Roof Ventilation

Ridge Tile

Marley
 Segmental Ridge Tile
 Colour : Old English Dark Red
 To Match Roof Tiles

Eaves

New Cellular P.V.C. Fascia and Ventilated Soffit Board
 See Detail DWG 402

Eaves

Standard Tile with Comb Filler

Eaves Protection System

Ubbink EPS
 UPVC Colour : Black
 See Ubbink Technical Details

Cloaked Verge

Marley
 Cloaked Verge Tile System 'Double Roman'
 See Marley Technical Details
 Colour : Old English Dark Red
 To Match Roof Tiles
 Cloak Verge Tile Fixed with Secret Fixing
 Half Tile for Adjustment
 See Cloak Verge and Cellular PVC Bargeboard
 Detail DWG 403
 Complete Verge Apex with Block End Ridge Tile

Existing Rain Water Gutter

Carefully Remove Existing Rain Water Gutters
 Existing C.I. Gutters or UPVC To Be Checked on Site

Rainwater Goods

Marley
 Deepflow UPVC Rainwater Gutter
 New Gutter Connected to Existing R.W.P.
 Colour : Black

Remove all debris and Clean Gutters and Test
 for Leaks on Completion of Work

Soil and Vent Pipe and Waste Pipe

See Detail and DWG 404

Existing Sarking - Fragile Roof Material

Celotex Sarking Boards
 Carefully Remove Existing Celotex Sarking



New Sarking

Min. 15mm Thick Treated Timber Sarking Nailed
 to Existing Rafters

Gable / Wall and Roof Abutment

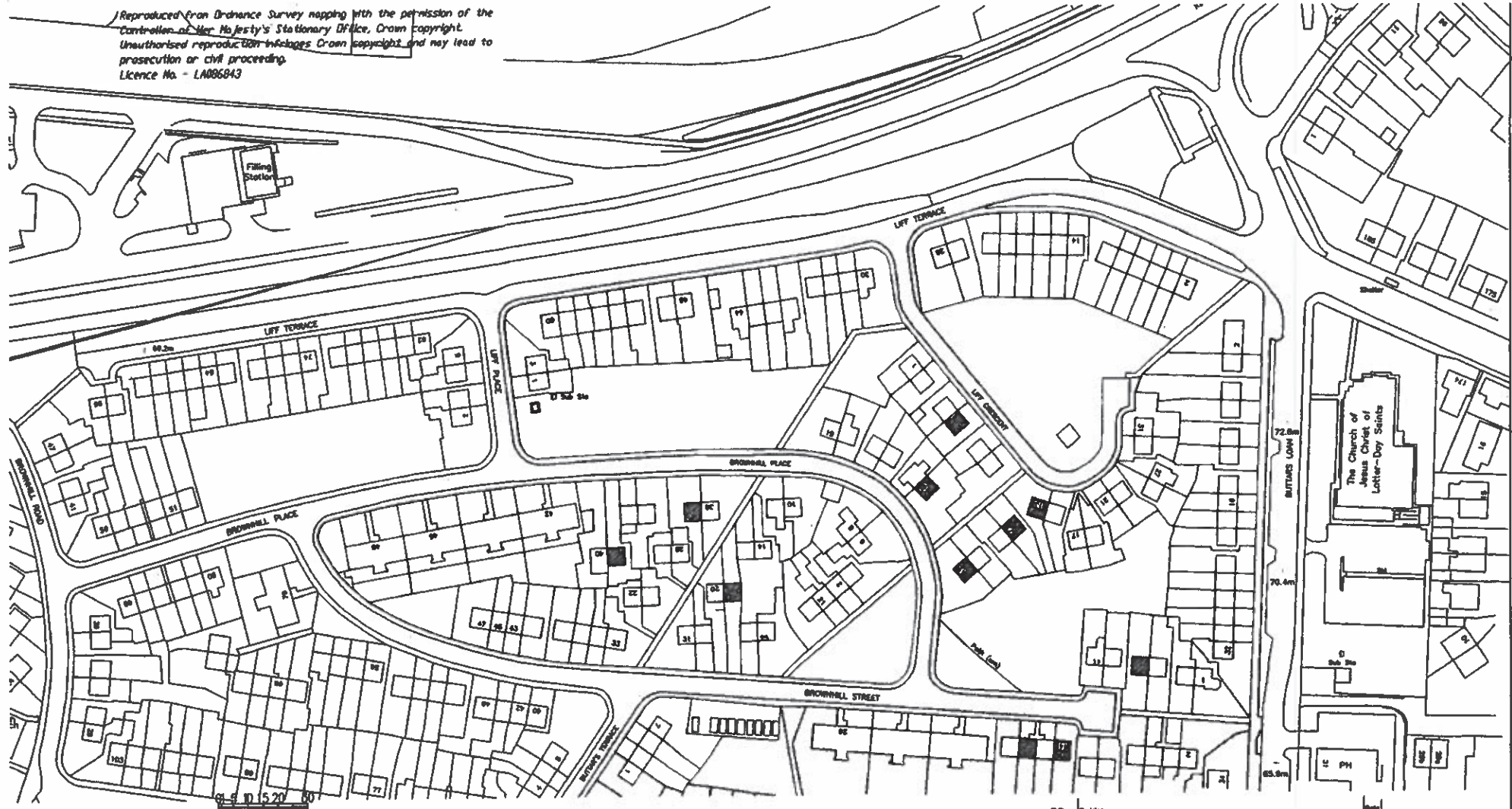
Abutment Flashing with Secret Gutter
 Code 5 Lead See Lead Details DWG 406
 Fixing and Pointing of Lead Sheet Flashings

CONFIDENTIAL
 15 JUN 2015
 ISSUE

 Dundee City Council	Revision	Project Title	Camperdown 2nd Development Pitched Roof Replacement Phase 2	Checked/ File Ref.	15-51
	 ISO 9001	Drawing Title	Notes (Roofing)	Dwg. No.	40
Support Services Patricia McIlquham Director.	Drawn	Checked	Scale	Date	Rev.
ARCHITECTURAL SERVICES, Tayside House, 28 Crichton Street, Dundee. DD1 3RQ. Tel: [REDACTED] Fax: 01382 433034			1:100	7/05/15	

Att

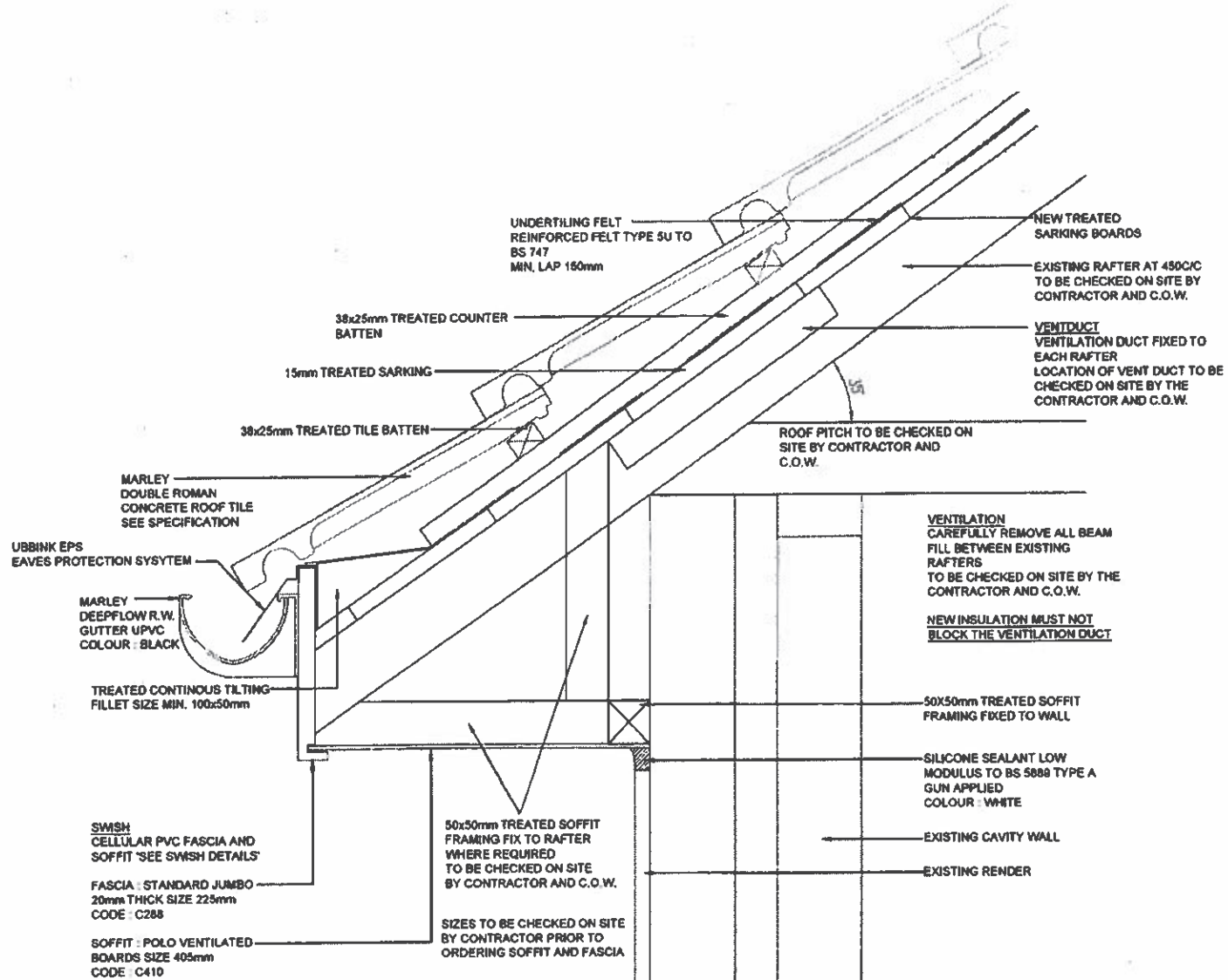
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ADDRESSES
18,32,38,1,7,9 BROWNHILL PLACE
7,14,18 BROWNHILL STREET
7,13 LIFF CRESCENT

CONTRACT
15 JUN 2015
ISSUE

 Dundee City Council City Development City Architects Division	Project CAMPERDOWN 2ND DEV Title ROOF RENEWAL-PH2	Rev. No. 15/513 Draw. No. 100
	Drawing SITE PLAN	Date 0-00-16
Scale 1:250	Dundee House, 20 North Lindsay Street, Dundee, DD1 1SL. Tel: 01392 494900	

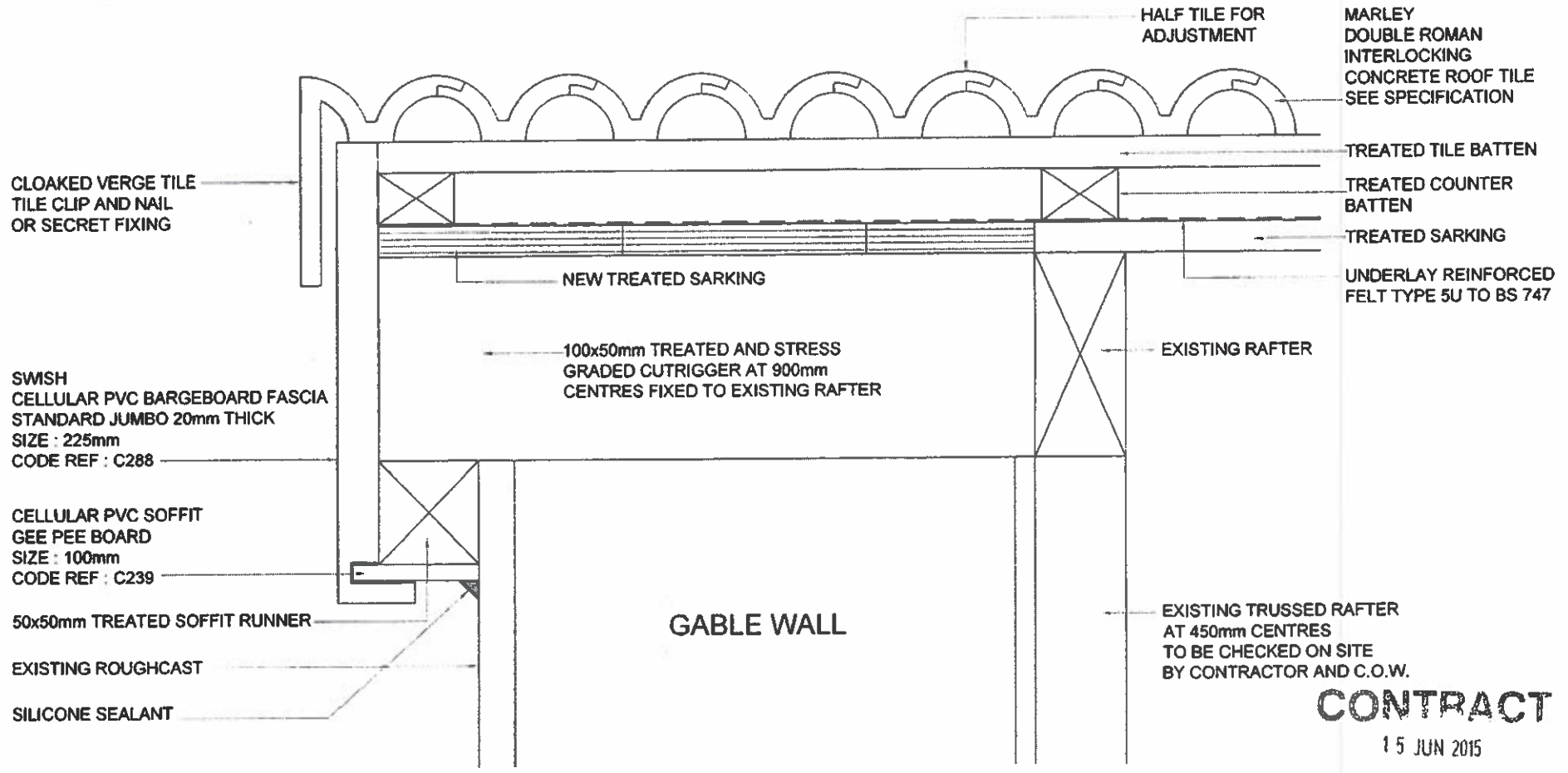


CONTRACT
15 JUN 2015
ISSUE

 Revision Camperdown 2nd Development Pitched Roof Replacement Phase 2 Drawing Title Eaves Detail	Checked/1 File Ref. 15-51 Dwg. No. 402
Support Services Patricia McIlquham Director.	Date 7/05/15
ARCHITECTURAL SERVICES Tayside House, 28 Crichton Street, Dundee, DD1 3RQ. Tel: [REDACTED] Fax: 01382 433034	City Architectural Services Officer, Floors 11/12 [REDACTED]






AV



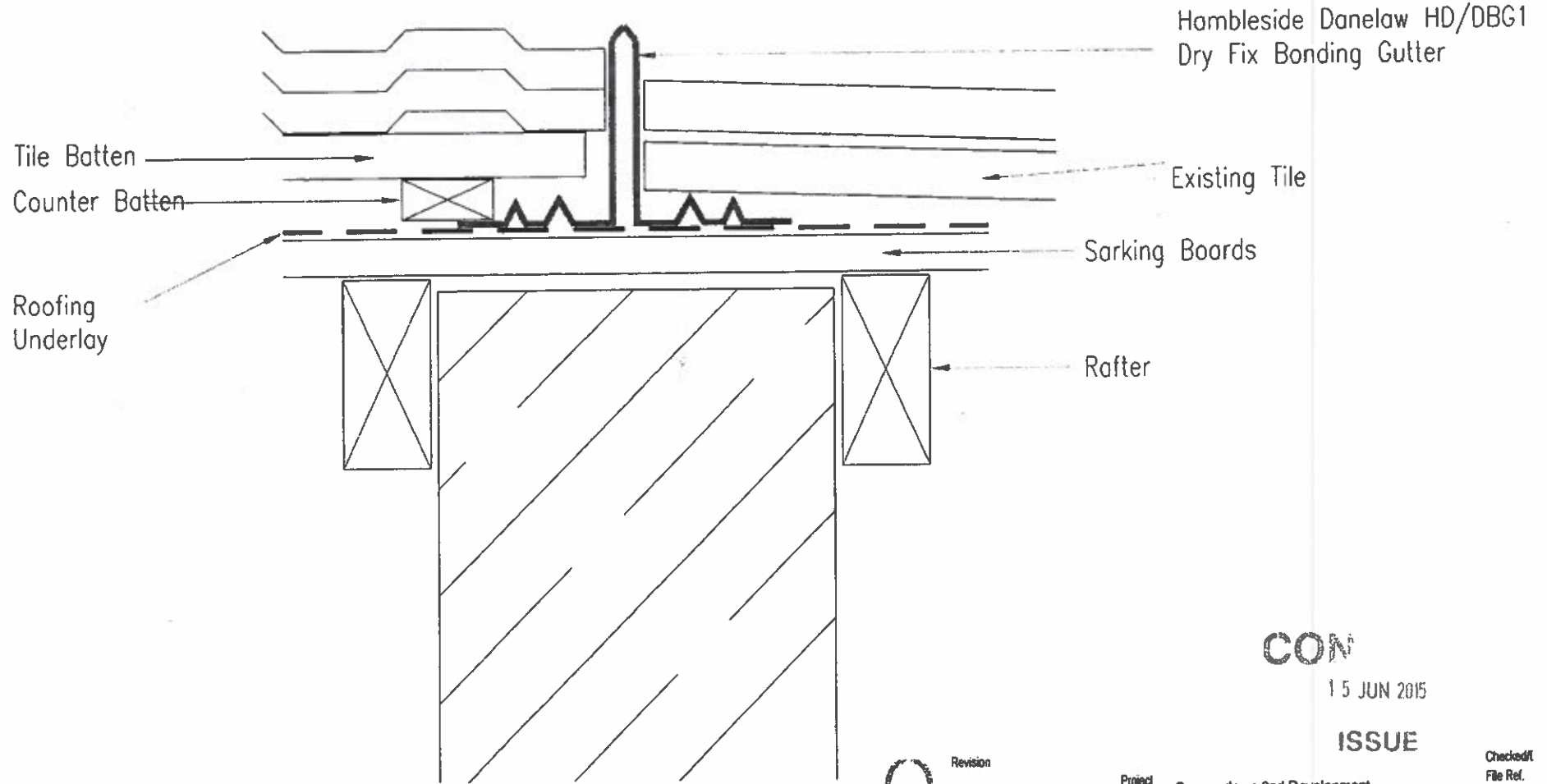
NOTE
 CAREFULLY CUT OUT EXISTING BRICKWORK AND FIX OUTRIGGER SPROCKET PIECE AND MAKE GOOD WALL HEAD BRICKWORK

CONTRACT
 15 JUN 2015
ISSUE

 Revision Date Issued for Issue: 01/06/15	Project Title Camperdown 2nd Development Pitched Roof Replacement Phase 2	Checked/ File Ref. 15-51
	Drawing Title Cloak Verge Detail	Drwg. No. 40
Support Services Patricia McIlquham Director.	Drawn [Redacted] Checked [Redacted] Scale 1:2 Date 7/05/15 Rev.	



 ARCHITECTURAL SERVICES, [Redacted] City Architectural Services Officer, Floors 11/12
 Tayside House, 28 Crichton Street, Dundee, DD1 3RQ. Tel: 01382 [Redacted] Fax: 01382 433034




AVI



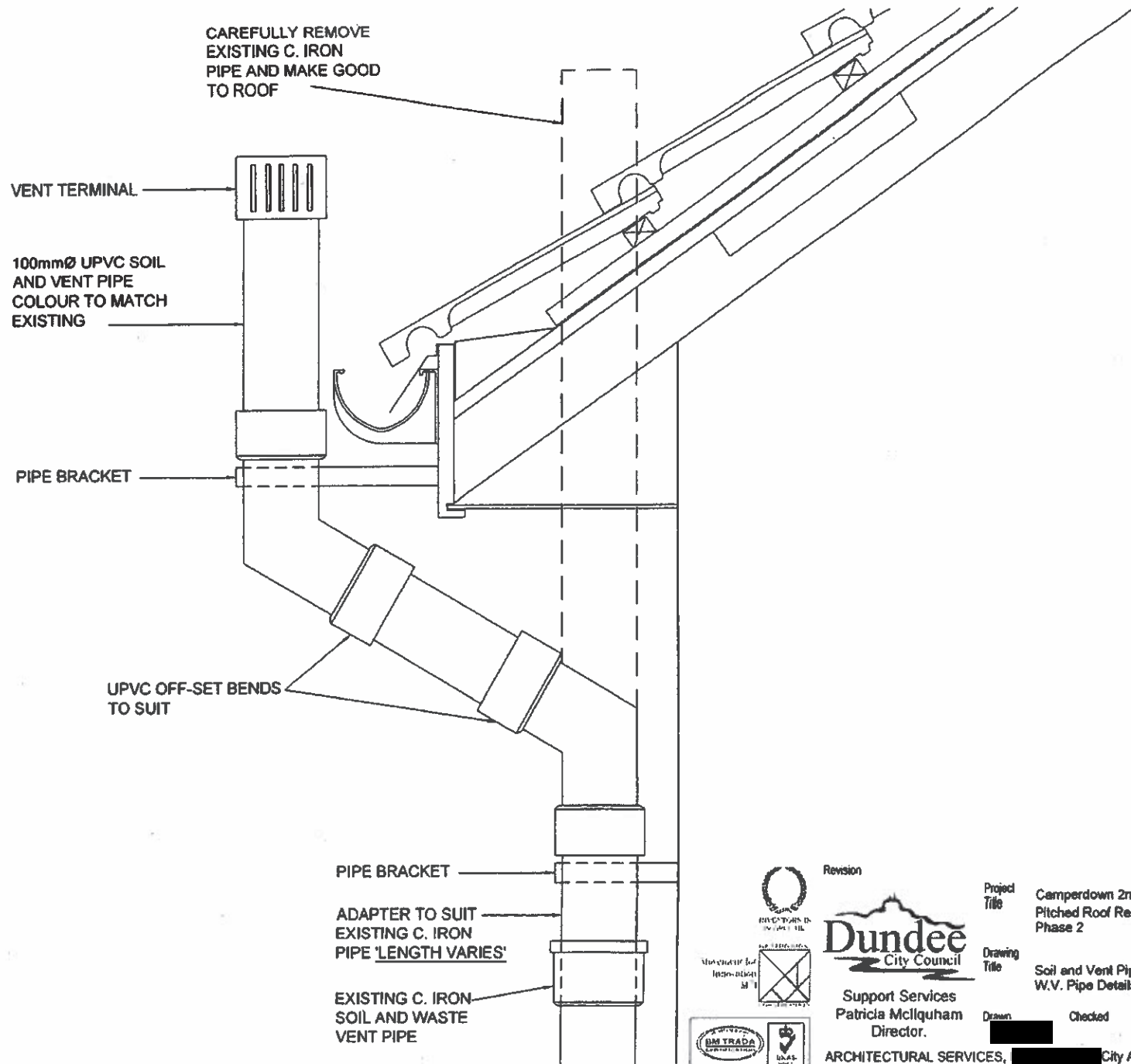
CON

15 JUN 2015

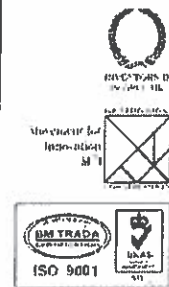
ISSUE

 Dundee City Council	Revision	Project Title	Camperdown 2nd Development Pitched Roof Replacement Phase 2	Checked/ File Ref.	
	 Support Services Patricia McIlquham Director.	Drawing Title	Dry Fix Bonding Gutter Fixed between Owners and Council Roofs	Drwg. No.	15-51
	Drawn	Checked	Scale	Date	Rev.
			1:1	7/05/15	
ARCHITECTURAL SERVICES, [Redacted] City Architectural Services Officer, Floors 11/12 Tayside House, 28 Crichton Street, Dundee, DD1 3RQ. Tel: 01 [Redacted] Fax: 01382 433034					

Avii



CONTROL
 15 JUN 2015
ISSUE



Revision
Dundee
 City Council
 Support Services
 Patricia McIlquham
 Director.

Project Title
 Camperdown 2nd Development
 Pitched Roof Replacement
 Phase 2
 Drawing Title
 Soil and Vent Pipe
 W.V. Pipe Details

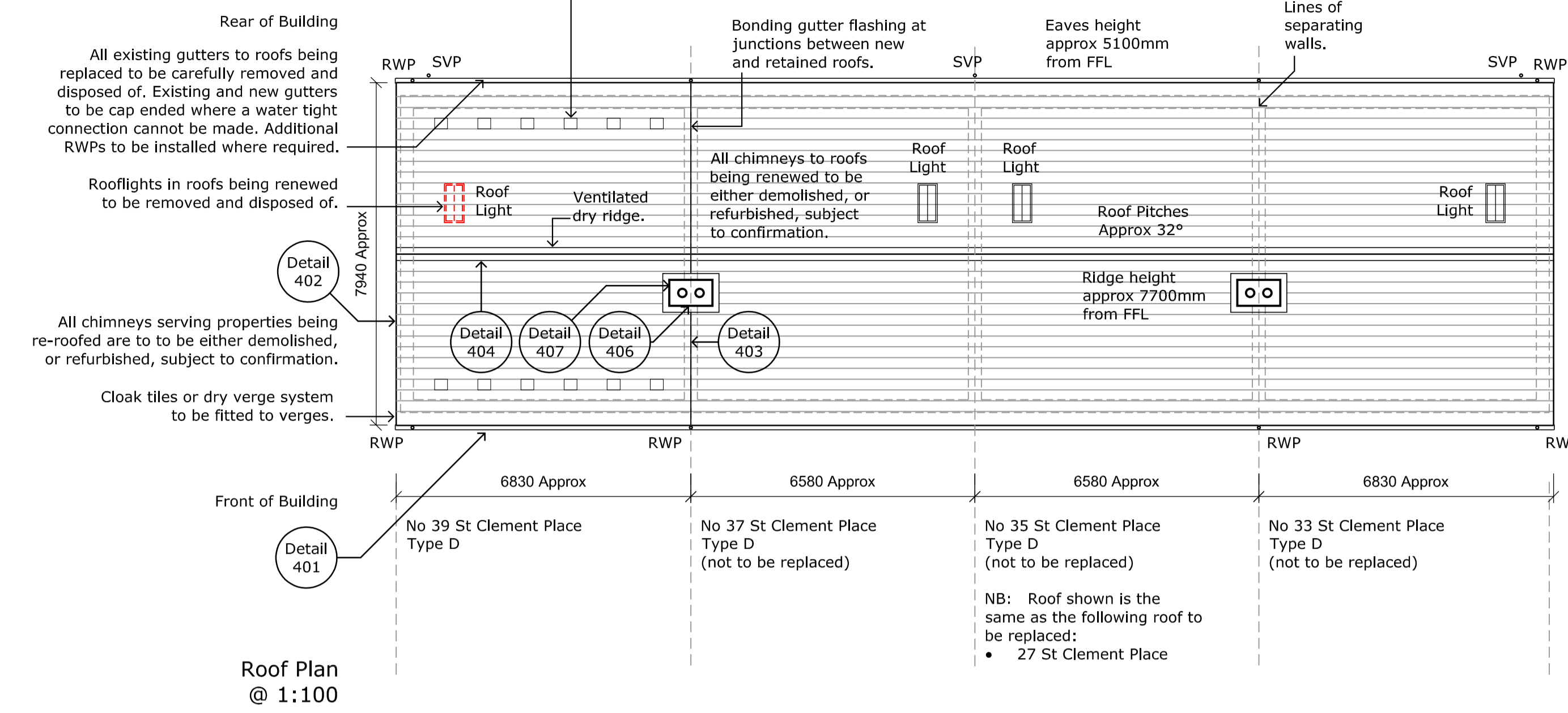
Checked/ File Ref.
 15-51
 Drwg. No.
 404
 Rev.

Drawn [redacted] Checked [redacted] Scale 1:5 Date 7/05/15

ARCHITECTURAL SERVICES, [redacted] City Architectural Services Officer, Floors 11/12
 Tayside House, 28 Crichton Street, Dundee, DD1 3RQ. Tel: [redacted] Fax: 01382 433034

Amin

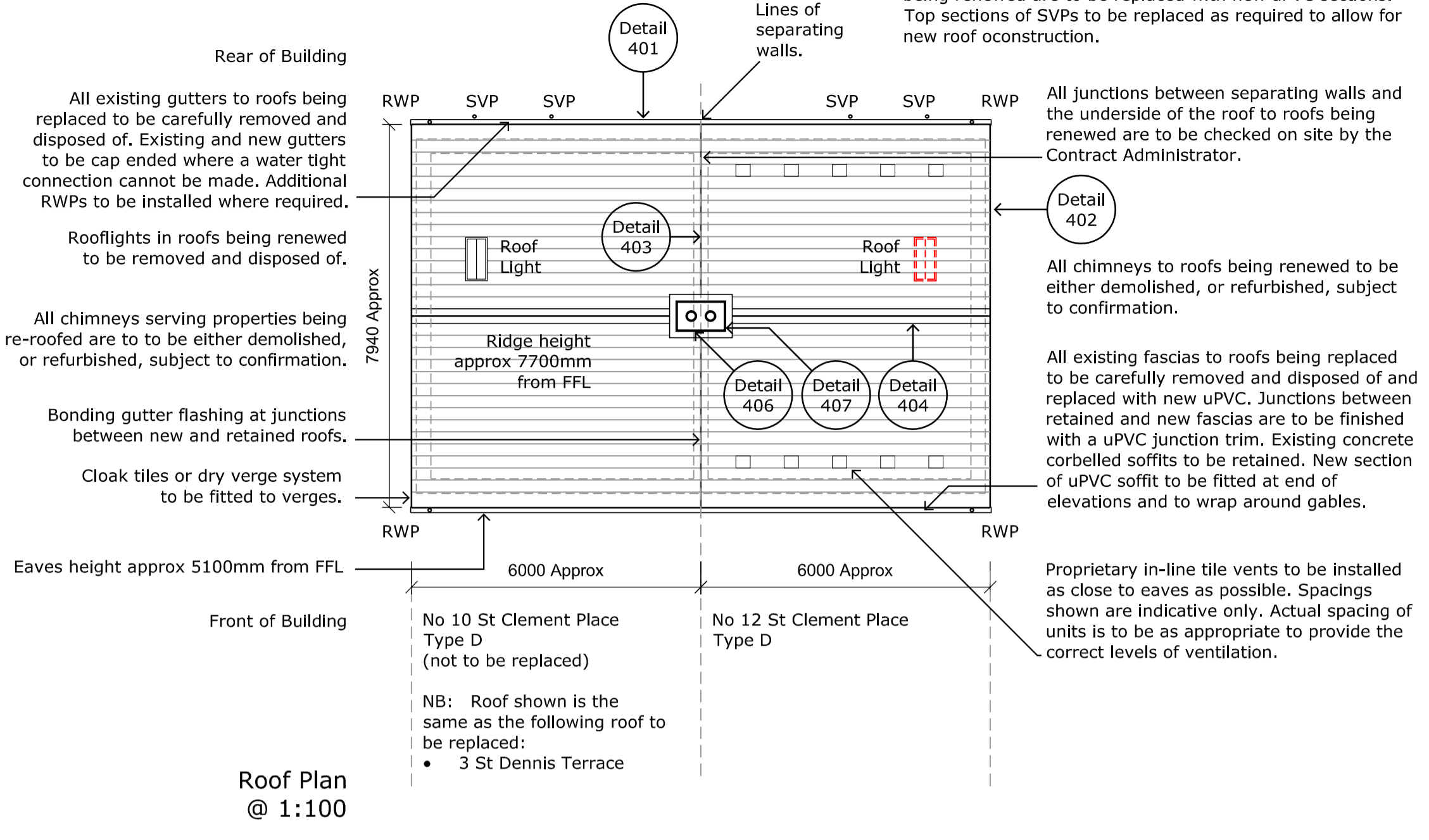
Proprietary in-line tile vents to be installed as close to eaves as possible. Spacings shown are indicative only. Actual spacing of units is to be as appropriate to provide the correct levels of ventilation.



All junctions between separating walls and the underside of the roof to roofs being renewed are to be checked on site by the Contract Administrator.

Existing cast iron rain water goods at sections of roofs being renewed are to be replaced with new uPVC sections. Top sections of SVPs to be replaced as required to allow for new roof construction.

All existing fascias to roofs being replaced to be carefully removed and disposed of and replaced with new uPVC. Junctions between retained and new fascias are to be finished with a uPVC junction trim. Existing concrete corbelled soffits to be retained. New section of uPVC soffit to be fitted at end of elevations and to wrap around gables.



All existing gutters to roofs being replaced to be carefully removed and disposed of. Existing and new gutters to be cap ended where a water tight connection cannot be made. Additional RWP's to be installed where required.

Rooflights in roofs being renewed to be removed and disposed of.

All chimneys serving properties being re-roofed are to be either demolished, or refurbished, subject to confirmation.

Bonding gutter flashing at junctions between new and retained roofs.

Cloak tiles or dry verge system to be fitted to verges.

Eaves height approx 5100mm from FFL

Front of Building

Roof Plan @ 1:100

Existing cast iron rain water goods at sections of roofs being renewed are to be replaced with new uPVC sections. Top sections of SVPs to be replaced as required to allow for new roof construction.

All junctions between separating walls and the underside of the roof to roofs being renewed are to be checked on site by the Contract Administrator.

All chimneys to roofs being renewed to be either demolished, or refurbished, subject to confirmation.

All existing fascias to roofs being replaced to be carefully removed and disposed of and replaced with new uPVC. Junctions between retained and new fascias are to be finished with a uPVC junction trim. Existing concrete corbelled soffits to be retained. New section of uPVC soffit to be fitted at end of elevations and to wrap around gables.

Proprietary in-line tile vents to be installed as close to eaves as possible. Spacings shown are indicative only. Actual spacing of units is to be as appropriate to provide the correct levels of ventilation.

SPECIFICATION NOTES

- 1. EXISTING BUILDING CONSTRUCTION: The walls and chimneys are constructed in concrete blockwork. The roof is constructed in a timber structure and is finished with concrete tiles.
2. PREPARATION: Carefully remove and dispose of existing tiles, roof vents, battens, and underlay.
3. CONSTRUCTION PHASE HEALTH AND SAFETY PLAN (CPH&SP): The contractor is to submit a construction phase health and safety plan prior to the works being permitted to start on site.
4. ASBESTOS: Dundee City Council City Development are to arrange for an asbestos survey to be provided for the areas of the buildings which are affected by the works.
5. ROOF SHEATHING/ SARKING: Where sheathing boards are to be patched, the replacement sections are to be the same thickness as the existing.
6. UNDERLAY: New underlay is to be a high resistance non-breathable membrane in accordance with BS 5534 Part 1 and is to be installed in accordance with manufacturers written instructions.

- 7. NEW ROOF TILES: New roof tiles are to be concrete single lapped interlocking Double Roman roof tiles with a smooth finish.
8. ROOF RIDGE: The ridge is to be a proprietary mechanically fixed ridge ventilation system providing a continuous weathertight air path from the roof void to the outside.
9. VERGE: The verge of the roof is to be finished with Double Roman cloak verge tiles.
10. EAVES: Rafter trays are to be installed over the rafters to ensure a continuous 50mm free air path is provided through to the roof ridge.
11. CAVITY CLOSERS: Where the wall heads are not currently closed they are to be fitted with a cavity closer.
12. FIRE STOPPING: Additional fire stopping is to be undertaken to the existing separating walls only when instructed by the Contract Administrator following a site assessment.

- 13. ROOF SPACE VENTILATION: Eaves and ridge ventilation is to be installed to provide ventilation into the roof space complying with the latest edition of BS 5250.
14. GUTTERS AND RWPs: New gutters are to be PVCu 110mm x 75mm semi elliptical gutters with high flow capacity.
15. SVPs: New sections of uPVC SVPs are to be installed in colour and size to match existing.
16. NEW SOFFITS AND FASCIAS: New fascias are to be formed with cellular PVCu. All extruded cellular PVCu profiles are to be manufactured in accordance with BS 7619:2009.
17. TIMBER: All timber must be obtained from fully verifiable Forest Stewardship Council FSC or Pan European Forest Certification PEFC.

- 18. LEAD FLASHINGS: All lead works to be in accordance with BS 6915 and latest edition of 'Rolled lead sheet. The complete manual' published by the Lead Sheet Association.
19. BONDING GUTTER: Junctions between retained and new roofs are to be weathered using a proprietary dry fix bonding gutter.
20. CHIMNEYS REMOVAL (Subject to Confirmation): The client is to check with all tenants whether the the chimneys are operational and advise whether the the chimneys are to be removed.
21. CHIMNEY REFURBISHMENT (Where Full Removal is Not Required): The chimney copes are to be re-pointed as required.
22. TV AERIALS & SATELLITE DISHES: Aerials and satellite dishes are to be checked for operation. Any redundant aerials are to be permanently removed subject to confirmation from the Contract Administrator.

- 23. COLD WATER STORAGE TANKS: Check existing cold water storage tank in roof space and report findings/defects.
24. SILICONE SEALANT: Silicone sealant to be low modulus type to BS 5889 type A gun applied sealant.
25. DISCHARGE PIPE TERMINATIONS AND OVERFLOW PIPES: Any overflow or discharge pipes are to be checked for operation. Any redundant pipes are to be permanently removed.
26. WASTE MANAGEMENT: The contractor must adopt a waste management system. Waste management is to be carried out on or off site and must be confirmed within the CPH&SP.
General: All elements of the roof are to be fully installed in accordance with the manufacturers written instructions. All workmanship standards to be in accordance with BS 8000-6. All roof tiling and slating to be installed in accordance with the latest revision of BS 5534.

Table with 4 columns: Revision, Description, Checked, Date. Includes project details for Dundee City Council, Project Title: Proposed Roofing Works St Marys 10th Development Phase 3, Drawing Title: Roof Plan & Specification Buildings B, Scale: 1:100 @ A1, Date: Mar 20, Rev: TO.

-All timber to be from the following source, in order of preference (1) Recycled wood and (2) FSC, PEFC, CSA, SFI certified as approved by DEFRA. The Council will not accept timber which has been illegally logged.
-Reproduction by permission of Ordnance Survey on behalf of HMSO, © Crown Copyright and Database Right 2018. All rights reserved. Ordnance Survey Licence No. 100023371
-All specifications to be read as "EQUAL AND APPROVED"

F 009 Minute of Pre Start Meeting

Project Number	19-514 & 19-545
Project Title	19-514 - St Marys 10th Dev Ph3 - Roof Replacement 19-545 - St Marys 8th Dev Ph3 - Roof Replacement

Only fill in sections in blue.

Meeting Place:		Date:	Time:
EDCS Conference Room- Clepington Road		02/09/20	11:00
Contract Letter of Acceptance Date:	Contract Possession Date:	Contract Completion Date:	Contract Period:
18/11/20	14/06/21 (TBC)	TBC	TBC

Present:

Name	Initials	Organisation	Title
		City Development	Architectural Technician
		EDCS	Site Manager
		EDCS	Quantity Surveyor
		EDCS	Contract Manager
		HAMU	Project Officer

Apologies:

Name	Initials	Organisation	Title
		EDCS	Contracts Surveyor
		EDCS	Tenant Liaison Officer
		City Development	Quantity Surveyor
		City Development	Quantity Surveyor
		City Development	Senior Clerk of Works
		City Development	Clerk of Works
		City Development	Principal Designer

ITEM	MINUTE	ACTION																																				
1	Project Introduction																																					
1.1.	Under the terms of the contract, the Architect is [REDACTED]																																					
1.2.	The following personnel as being responsible for the running of the contract.																																					
	<table border="1"> <thead> <tr> <th>Title</th> <th>Name</th> <th>Tel. No.</th> </tr> </thead> <tbody> <tr> <td>Meeting Chair Person</td> <td>[REDACTED]</td> <td>[REDACTED]</td> </tr> <tr> <td>Project Administrator</td> <td>[REDACTED]</td> <td>[REDACTED]</td> </tr> <tr> <td>Principal Designer</td> <td>[REDACTED]</td> <td>[REDACTED]</td> </tr> <tr> <td>Structural Engineer</td> <td>TBC (if applicable)</td> <td></td> </tr> <tr> <td>Quantity Surveyor</td> <td>[REDACTED]</td> <td>[REDACTED]</td> </tr> <tr> <td>Quantity Surveyor</td> <td>[REDACTED]</td> <td>[REDACTED]</td> </tr> <tr> <td>Clerk of Works</td> <td>[REDACTED]</td> <td>[REDACTED]</td> </tr> <tr> <td>Contract Manager</td> <td>[REDACTED]</td> <td>[REDACTED]</td> </tr> <tr> <td>Site Agent</td> <td>[REDACTED]</td> <td>[REDACTED]</td> </tr> <tr> <td>Contractor Quantity Surveyor</td> <td>[REDACTED]</td> <td>[REDACTED]</td> </tr> <tr> <td>Client Representative</td> <td>[REDACTED]</td> <td>[REDACTED]</td> </tr> </tbody> </table> <p>Confirm that Contractor will have a person in Charge as per JCT 2005 Local Authority Edition with amendments identify him.</p> <p>Name [REDACTED]</p>	Title	Name	Tel. No.	Meeting Chair Person	[REDACTED]	[REDACTED]	Project Administrator	[REDACTED]	[REDACTED]	Principal Designer	[REDACTED]	[REDACTED]	Structural Engineer	TBC (if applicable)		Quantity Surveyor	[REDACTED]	[REDACTED]	Quantity Surveyor	[REDACTED]	[REDACTED]	Clerk of Works	[REDACTED]	[REDACTED]	Contract Manager	[REDACTED]	[REDACTED]	Site Agent	[REDACTED]	[REDACTED]	Contractor Quantity Surveyor	[REDACTED]	[REDACTED]	Client Representative	[REDACTED]	[REDACTED]	
Title	Name	Tel. No.																																				
Meeting Chair Person	[REDACTED]	[REDACTED]																																				
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Contractor Quantity Surveyor	[REDACTED]	[REDACTED]																																				
Client Representative	[REDACTED]	[REDACTED]																																				
1.3.	<p>Emergency Telephone Numbers 2 of required</p> <p>First No [REDACTED] Second No [REDACTED]</p> <p>Record the emergency (outwith office hours) telephone number of contact person, i.e. Job Title, Name and number.</p> <table border="1"> <thead> <tr> <th>Name</th> <th>Title</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>[REDACTED]</td> <td>Site Agent</td> <td>[REDACTED]</td> </tr> </tbody> </table>	Name	Title	Number	[REDACTED]	Site Agent	[REDACTED]																															
Name	Title	Number																																				
[REDACTED]	Site Agent	[REDACTED]																																				
2	Project Contract Issues																																					
2.1	<p>Is Appendix issued with Agenda agreed by all parties <input type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>If no give action required:- Any issues with the appendix to be raised with [REDACTED]</p>	All																																				
2.1.1	(Appendix Item AP1.2) [REDACTED] confirmed contract drawings had been issued for both contracts. [REDACTED] confirmed 12 St Clement Place removed from project 19-514 covered by AI no 02. AI issued to change cloak tiles to dry verges and to change soffits and fascias to white.	[REDACTED]																																				
2.1.2	(Appendix Item AP1.8) [REDACTED] to check with [REDACTED] whether projects are notifiable	[REDACTED]																																				
2.2.	<p>Confirm date of possession and Contract Completion – state also Bills of Quantities dates and reasons for divergence if any.</p> <p>Date [REDACTED] Start Date : 14/06/21 Completion Date : TBC</p>																																					
2.3.	<p>Confirm that Guarantees, Bonds and Insurances to comply with the contract are in place – a sight of these is required by the Project Administrator.</p> <p>Guarantees, Bonds and Insurances are in place <input type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>If no give action required:-</p> <p>Make it clear to the Contractor that failure to produce these will not be accepted as a reason for extensions or delays to the contract – write a letter if necessary. (Lack of insurance, Bond etc, will result in the contract not commencing).</p>																																					

2.4.	Confirm whether the Contractor is a Principal Contractor under the Regulations. If no give action required:-	YES	NO	
2.5.	Confirm whether or not an Asbestos Register is available. If no give action required:- No asbestos register is available for the buildings. The contractor has received asbestos survey reports for the buildings. [redacted] confirmed some of the surveys were deemed unsuitable as no samples had been taken. [redacted] confirmed he had e-mailed the asbestos surveyors to raise the concerns. [redacted] to chase feedback from surveyors and advise.	YES	NO	[redacted]
2.6	Confirm Contractor's site management has competency in asbestos awareness. If no give action required:-	YES	NO	
3	<u>Project Site Issues</u>			
3.1.	Detail the site – as described in contract documents. If no give action required:-	YES	NO	
3.2.	Confirm that the site is available to the Contractor. If no give action required [redacted] confirmed he would issue letters to tenants and neighbours confirming the dates for the works.	YES	NO	[redacted]
3.3	Establish position of site sign-board. If no give action required:- It was agreed that a Housing banner would have to be displayed on site. [redacted] suggested a scaffold frame could be erected for fixing the display. Final location and support for the banner to be agreed. At required.	YES	NO	[redacted]
3.4	Is site office required? If required what is address/location of site accommodation :-	YES	NO	
3.5	Confirm working hours.	Hours	08:00- 16:30 Mon-Fri	
4	<u>Project Site Meetings</u>			
4.1.	Confirm accommodation for site meetings:- EDCS office (provisional due to Covid 19). Final details for future progress meetings to be agreed.			[redacted]
4.2.	Site meetings will be chaired by the Project Administrator who will take the minutes. The meetings' purpose will be to record progress, problems arising on site etc., and to carry out Contractor Appraisals. Intervals of meetings	Meetings to be held within overall roof progress meetings.		
4.3	Confirm date of first site meeting.	Date	TBC	[redacted]
5	<u>Project Communications</u>			
5.1	Confirm if site telephone is required.	Site No	[redacted]	
5.2	Confirm addresses for communications and number of copies required. Address:- Correspondence by e-mail where possible. If required, mail to be sent to EDCS, 353 Clepington Road, Dundee, DD3 8PL.	Number	TBA	
6	<u>Quality Control</u>			
6.1.	Contractor and COW checks to ensure quality control.			[redacted]
7	<u>Health and Safety</u>			
7.1.	Has Contractor developed & passed H & S Plan to Planning Supervisor. If no give action required [redacted] confirmed that the Construction Phase Health and Safety Plan for both projects had been sent to [redacted] for comment. [redacted] confirmed that the works could not start on site until the plans had been agreed.	YES	NO	[redacted]
	It is emphasised that no work is to commence on site until the Client has deemed the Principal Contractor's Developed Health and Safety Plan suitable.			

7.2.	Hot Work Permit System to apply for any hot work. Ask for example of Contractor's Hot Work Permit. If there is not one give Contractor a copy of the DCC permit. [redacted] confirmed any hot works would be in accordance with DCC hot works policy.		
7.3.	Health and Safety matters will be monitored at each site meeting.		
7.4.	Has Contractor made contact with the CDMC Has the info for the Health & Safety File been passed to the CDMC If no give action required:-	YES YES	NO NO
7.5.	Has the contractor sent a copy of the F10 to DCC's Corporate H&S team. If F10s are applicable [redacted] to send a copy to [redacted]	YES	NO
8	<u>Contractors Matters</u>		
8.1.	Has the contractors issued a programme at the meeting. If no give action required:- [redacted] to e-mail a copy of the programme for both projects.	YES	NO
9	<u>Quantity Surveyor's Matters</u>		
9.1.	[redacted] advised that a valuation had already been submitted by [redacted] for the delivery and storage of materials.		
10	<u>Consultants Matters (Architects, Mechanical, Electrical, Structural, Other)</u>		
10.1.	[redacted] advised that the intention would be to remove all chimneys where not in use [redacted] to ask [redacted] to check whether chimneys are live [redacted] to check with Structural Engineers whether there are any issues with chimney removals.		[redacted]
10.2.	[redacted] confirmed that bat surveys had been undertaken for both projects and that no bats had been found. [redacted] to forward a copy of the reports onto the contractor.		[redacted]
10.3.	[redacted] confirmed that the extent of fire proofing works was to be agreed on site once the roof was opened up.		[redacted]
10.4.	[redacted] confirmed the new roof tiles were similar to the existing and therefore no structural assessment for loadings would be required.		
10.5.	It was agreed that all expansion pipes and overflow pipes were to be removed if redundant.		[redacted]
10.6.	[redacted] confirmed that he would appreciate the contractors input where it was felt any details shown on the drawings could be undertaken in a more practical way [redacted] to advise [redacted] if he feels any of the details would be easier to construct in a different way.		[redacted]
10.7.	[redacted] confirmed the roof tile fixing specification was to be obtained from the roof tile manufacturer. [redacted] was asked to provide the fixing specification. [redacted] confirmed the roof tiles were Russell Double Roman tiles.		[redacted]
10.8.	[redacted] confirmed he would require confirmation of the specification of all other roof components to allow fixing details to be obtained and passed to [redacted] for inspections.		[redacted]
10.9.	[redacted] confirmed a Building Warrant application had been made for the projects and that he was awaiting approval.		[redacted]
11	<u>Client</u>		
11.1.	No client matters.		
12	<u>Clerk of Works Matters</u>		
12.1.	No Clerk of Works matters.		
13	<u>Any Other Business</u>		
13.1.	None		



PRoof 6: TILE FIXING SPECIFICATION

Site details:

Reference: 210730151151ASR
 Date: 30/07/21
 Client: Dundee City Council
 Project: 19-514 - St Marys 10th Dev Ph.3 - Roof Replacement
 Plots: St Ninian's Terrace 7, 27, 29, 51, 59-63
 St Giles Terrace 68, 72, 86-88, 94
 St Filans Terrace 20, 22

Location: St. Giles Terrace, Dundee
 Postcode: DD3 9JG

Wind calculation parameters (using BREVe defaults):

Altitude: 142.0m [max within 500m]
 Terrain: Site is in mixed terrain - Town, Country
 Heights Hr, He: 8.0 m, 6.0m
 Close to airport? No
 Vmap (BSEN1991-1-4): 25.1 m/s
 Design gust speed/pressure: 43.2 m/s ; 1146.4 N/m²

Roof parameters:

Tile type: Double Roman
 Ridge tile, type: Half Round Ridge, gap in underlay at ridge
 Verge type: Dry Fix - Dry Verge
 Roof type, pitch, substrate: Duopitch, 35°, Non permeable underlay or sheet sarking
 Ridge height: 8 m
 Batten type: Class 1 timber (C16/18/22)
 Counterbattens: Yes, Depth= 19.0 mm
 Ceiling type: Ceiling, not well sealed
 Headlap: 75 mm
 Building length, width (L, W): 25 m, 8 m

Recommended fixing specification:

Note: When using dry verge the dry verge system counts as one of the TWO perimeter fixings.

General areas: Two smooth nails per tile, length 40 mm, diameter 3.35 mm
Local areas: Clip plus one smooth nail per tile, length 40 mm, diameter 3.35 mm
Perimeter tiles: Clip plus one smooth nail per tile, length 40 mm, diameter 3.35 mm
Eaves tiles: Clip plus one smooth nail per tile, length 40 mm, diameter 3.35 mm
Verge tiles: Russell Roof Tiles Dry Verge with specified fixings
Ridge: Use Russell Roof Tiles Dry Ridge System with specified fixings

Local area definition : 5 course(s) of tiles up/down from the ridge/eaves/edge/abutment/obstruction
 3 course(s) of tiles in from the verge/side/abutment/obstruction

Underlay: 1,032 N/m² when tested in accordance with BS5534 Annex A
 (minimum uplift resistance)

Disclaimer: This fixing advice is based on information supplied by the customer. It is the customer's responsibility to ensure that the information given is correct and that all relevant details that may affect the site wind speed have been identified. The calculations use the methods of BS5534:2014 and BS8612 are only valid for use with the Russell Roof Tiles products shown.

Russell Roof Tiles, Nicolson Way, Wellington Road, Burton-on-Trent, Staffordshire, DE14 2AW
 Tel: 01283 517070 Fax: -01283 516290 Web: www.russellrooftiles.co.uk

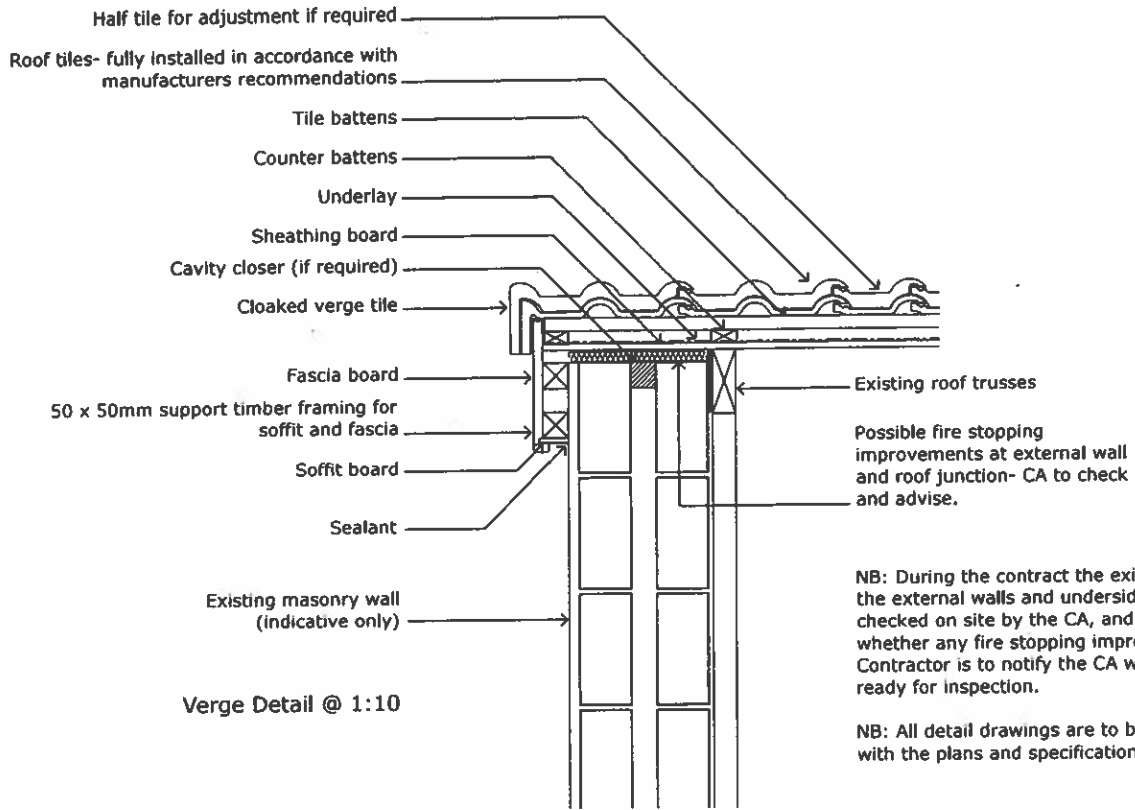


Notes
 Type 'A' - Two storey semi-detached and terraced properties at:
 -St. Clement Place: 9
 -St. Dennis Terrace: 4, 6, 8
 -St. Kilda Road: 95, 101
 Type 'D' - Two storey semi-detached and terraced properties at:
 -St. Clement Place: 12, 27, 39
 -St. Dennis Terrace: 3

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Revision	Description	Checked	Date
Project Title		St Marys 10th Development Phase 3 Roof Replacement	
Drawing Title		Site Location Plan	
City Development Design & Property Division		Scale	1:1250 @A2
Drawn	Checked	Date	Rev.
		Mar 20	
City Development, Dundee House, 50 North Lindsay Street, Dundee, DD11LS Tel: 01382 434000			

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 By [Signature] at 11:25 am, Aug 14, 2018
BILL OF QUANTITIES




NB: During the contract the existing junction between the external walls and underside of the roof are to be checked on site by the CA, and a decision made whether any fire stopping improvements are required. Contractor is to notify the CA when the junction is ready for inspection.

NB: All detail drawings are to be read in conjunction with the plans and specification notes.

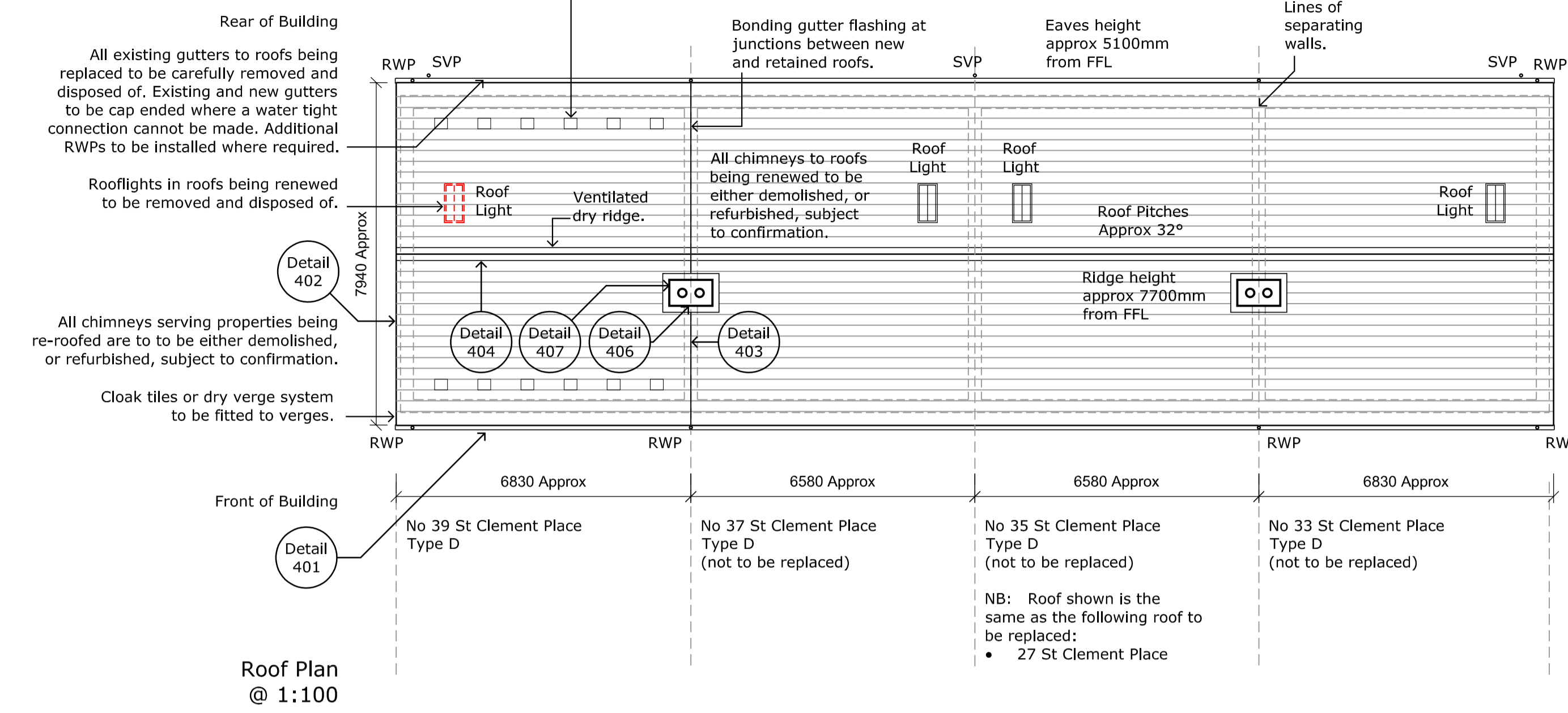
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Revision	Description	Checked	Date
 City Development Design & Property Division		Project Title Proposed Roofing Works St Marys 10th Development Phase 3	File Ref. 19-514 OCC ID Drwg No. 402
	Drawing Title Cloaked Verge Detail	Drawn [redacted]	Checked [redacted]
		Scale 1:10 @ A3	Date Mar 20
			Rev. T0
City Development, Dundee House, 50 North Lindsay Street, Dundee, DD11LS Tel: 01382 434000			

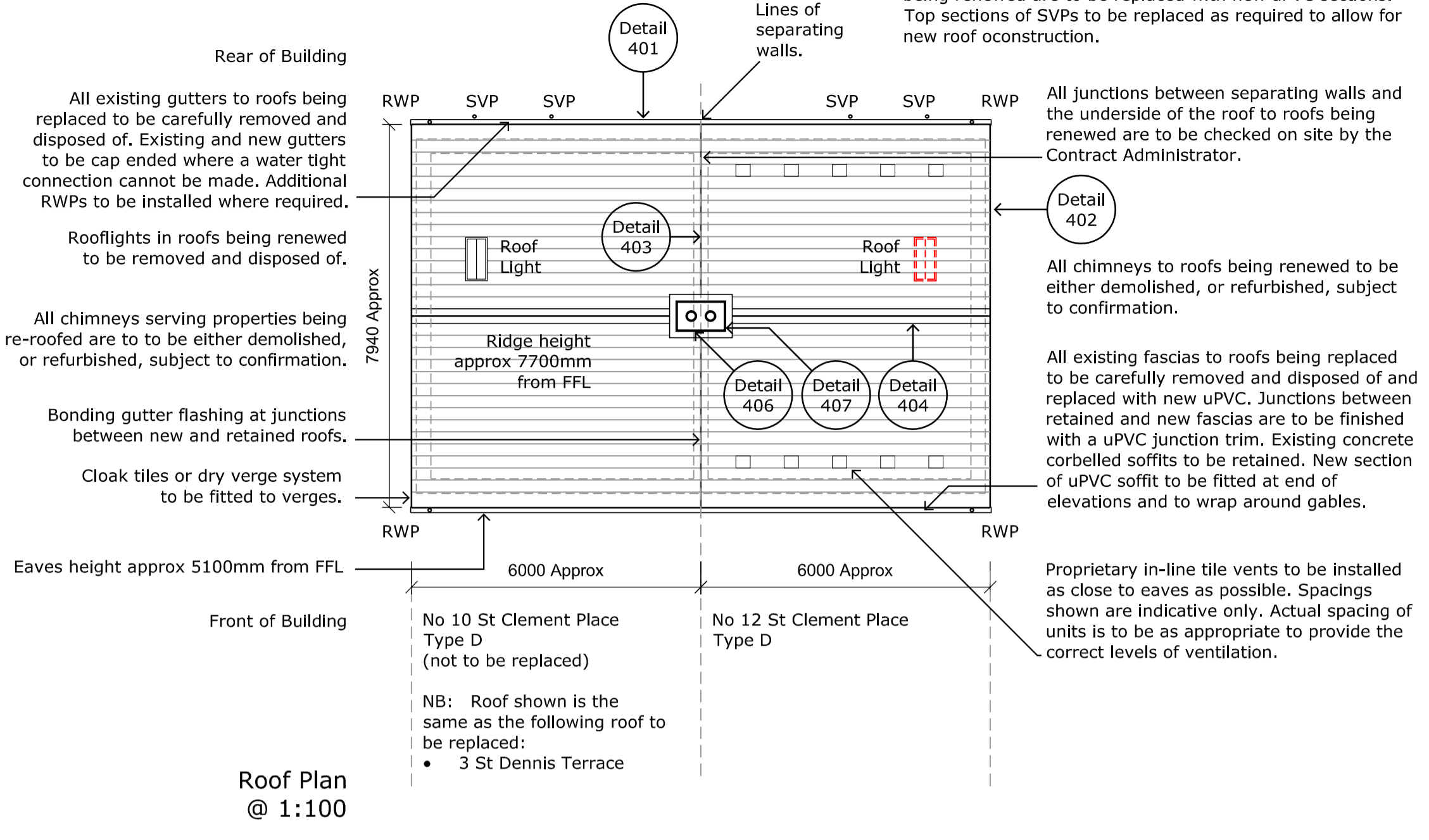
Proprietary in-line tile vents to be installed as close to eaves as possible. Spacings shown are indicative only. Actual spacing of units is to be as appropriate to provide the correct levels of ventilation.



All junctions between separating walls and the underside of the roof to roofs being renewed are to be checked on site by the Contract Administrator.

Existing cast iron rain water goods at sections of roofs being renewed are to be replaced with new uPVC sections. Top sections of SVPs to be replaced as required to allow for new roof construction.

All existing fascias to roofs being replaced to be carefully removed and disposed of and replaced with new uPVC. Junctions between retained and new fascias are to be finished with a uPVC junction trim. Existing concrete corbelled soffits to be retained. New section of uPVC soffit to be fitted at end of elevations and to wrap around gables.



All existing gutters to roofs being replaced to be carefully removed and disposed of. Existing and new gutters to be cap ended where a water tight connection cannot be made. Additional RWP's to be installed where required.

Rooflights in roofs being renewed to be removed and disposed of.

All chimneys serving properties being re-roofed are to be either demolished, or refurbished, subject to confirmation.

Bonding gutter flashing at junctions between new and retained roofs.

Cloak tiles or dry verge system to be fitted to verges.

Eaves height approx 5100mm from FFL

Roof Plan @ 1:100

Existing cast iron rain water goods at sections of roofs being renewed are to be replaced with new uPVC sections. Top sections of SVPs to be replaced as required to allow for new roof construction.

All junctions between separating walls and the underside of the roof to roofs being renewed are to be checked on site by the Contract Administrator.

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Proprietary in-line tile vents to be installed as close to eaves as possible. Spacings shown are indicative only. Actual spacing of units is to be as appropriate to provide the correct levels of ventilation.

SPECIFICATION NOTES

- 1. EXISTING BUILDING CONSTRUCTION: The walls and chimneys are constructed in concrete blockwork. The roof is constructed in a timber structure and is finished with concrete tiles. The chimneys are fitted with sectional concrete coping stones and clay pots.
2. PREPARATION: Carefully remove and dispose of existing tiles, roof vents, battens, and underlay. Existing roof sheathing to be checked and notice given for any defective boards. Any loose boards to be adjusted to level and securely fixed.
3. CONSTRUCTION PHASE HEALTH AND SAFETY PLAN (CPH&SP): The contractor is to submit a construction phase health and safety plan prior to the works being permitted to start on site.
4. ASBESTOS: Dundee City Council City Development are to arrange for an asbestos survey to be provided for the areas of the buildings which are affected by the works.
5. ROOF SHEATHING/ SARKING: Where sheathing boards are to be patched, the replacement sections are to be the same thickness as the existing.
6. UNDERLAY: New underlay is to be a high resistance non-breathable membrane in accordance with BS 5534 Part 1 and is to be installed in accordance with manufacturers written instructions.

- 7. NEW ROOF TILES: New roof tiles are to be concrete single lapped interlocking Double Roman roof tiles with a smooth finish. All roof tiles are to be mechanically fixed in accordance with the manufacturers instructions and in accordance with the latest edition of BS 5534.
8. ROOF RIDGE: The ridge is to be a proprietary mechanically fixed ridge ventilation system providing a continuous weathertight air path from the roof void to the outside. The system is to provide ventilation to BS 5250:2011 and to comply with BS 5534:2014 for mechanical fixing.
9. VERGE: The verge of the roof is to be finished with Double Roman cloak verge tiles. The tiles are to be concrete in a colour and finish to match the roof tiles.
10. EAVES: Rafter trays are to be installed over the rafters to ensure a continuous 50mm free air path is provided through to the roof ridge.
11. CAVITY CLOSERS: Where the wall heads are not currently closed they are to be fitted with a cavity closer. New cavity closers are to be manufactured from rock mineral wool with a non-combustible classification, and is to be enveloped with a polythene sheet.
12. FIRE STOPPING: Additional fire stopping is to be undertaken to the existing separating walls only when instructed by the Contract Administrator following a site assessment.

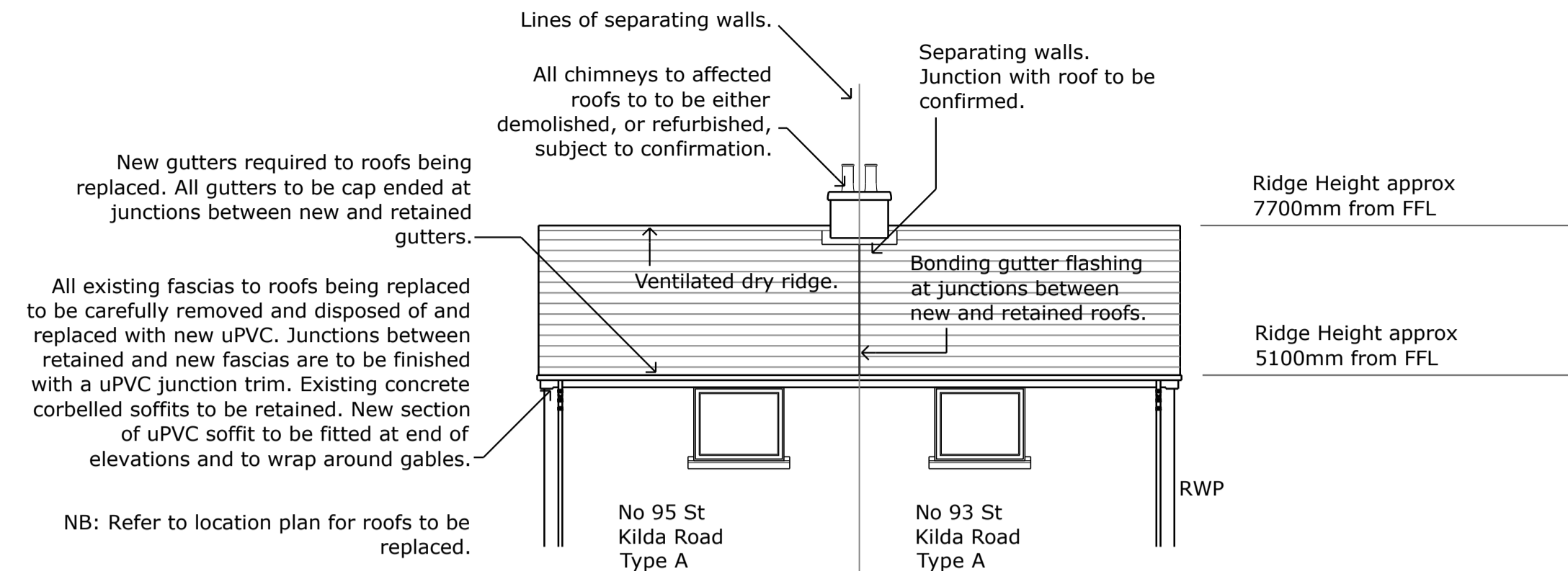
- 13. ROOF SPACE VENTILATION: Eaves and ridge ventilation is to be installed to provide ventilation into the roof space complying with the latest edition of BS 5250. At the eaves, proprietary in-line vents are to be installed as close to the eaves as possible to provide the eaves ventilation.
14. GUTTERS AND RWPs: New gutters are to be PVCu 110mm x 75mm semi elliptical gutters with high flow capacity. The gutters are to be fixed to the fascias using proprietary PVCu fixing brackets.
15. SVPs: New sections of uPVC SVPs are to be installed in colour and size to match existing. New pipe work and fittings to be kitemarked to BS EN 1329-1.
16. NEW SOFFITS AND FASCIAS: New fascias are to be formed with cellular PVCu. All extruded cellular PVCu profiles are to be manufactured in accordance with BS 7619:2009.
17. TIMBER: All timber must be obtained from fully verifiable Forest Stewardship Council FSC or Pan European Forest Certification PEFC.

- 18. LEAD FLASHINGS: All lead works to be in accordance with BS 6915 and latest edition of 'Rolled lead sheet. The complete manual' published by the Lead Sheet Association. All lead installers to be trained in the application of lead coverings/ flashings and to submit records of experience on request.
19. BONDING GUTTER: Junctions between retained and new roofs are to be weathered using a proprietary dry fix bonding gutter. Edges of existing roof sheathing to retained roofs to be neatly cut to allow for installation of new bonding gutter detail.
20. CHIMNEYS REMOVAL (Subject to Confirmation): The client is to check with all tenants whether the the chimneys are operational and advise whether the the chimneys are to be removed.
21. CHIMNEY REFURBISHMENT (Where Full Removal is Not Required): The chimney copes are to be re-pointed as required. If any copes are damaged beyond repair, the contractor is to notify the Contract Administrator to allow an inspection to be made.
22. TV AERIALS & SATELLITE DISHES: Aerials and satellite dishes are to be checked for operation. Any redundant aerials are to be permanently removed subject to confirmation from the Contract Administrator.

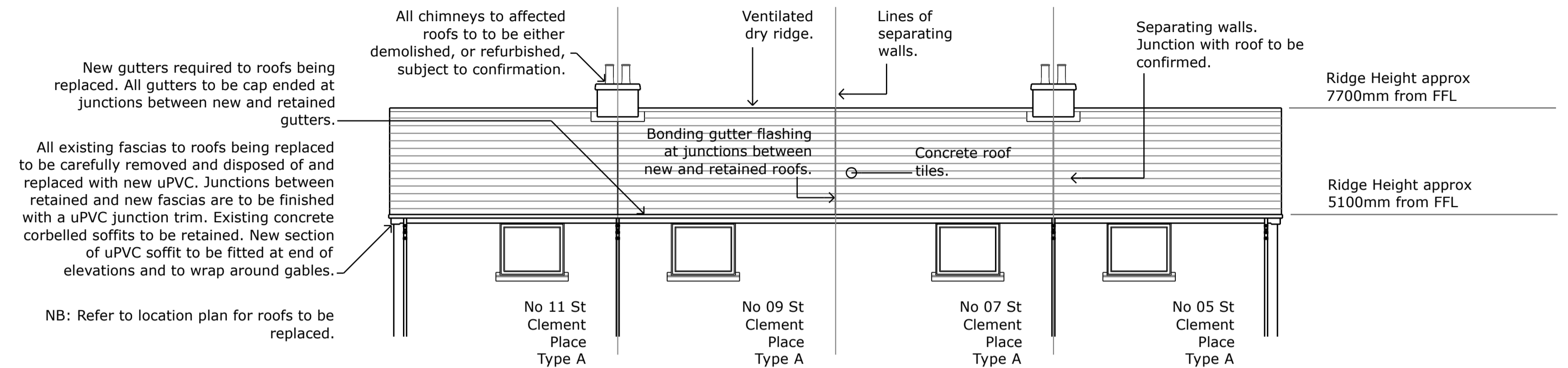
- 23. COLD WATER STORAGE TANKS: Check existing cold water storage tank in roof space and report findings/defects. Extend overflow pipe from cold water storage tank as required.
24. SILICONE SEALANT: Silicone sealant to be low modulus type to BS 5889 type A gun applied sealant.
25. DISCHARGE PIPE TERMINATIONS AND OVERFLOW PIPES: Any overflow or discharge pipes are to be checked for operation. Any redundant pipes are to be permanently removed.
26. WASTE MANAGEMENT: The contractor must adopt a waste management system. Waste management is to be carried out on or off site and must be confirmed within the CPH&SP.
General: All elements of the roof are to be fully installed in accordance with the manufacturers written instructions. All workmanship standards to be in accordance with BS 8000-6. All roof tiling and slating to be installed in accordance with the latest revision of BS 5534. All roof to be fully cleaned before the removal of the scaffolding. All windows, including cills/frames etc, are to be fully cleaned as the scaffolding is being removed.

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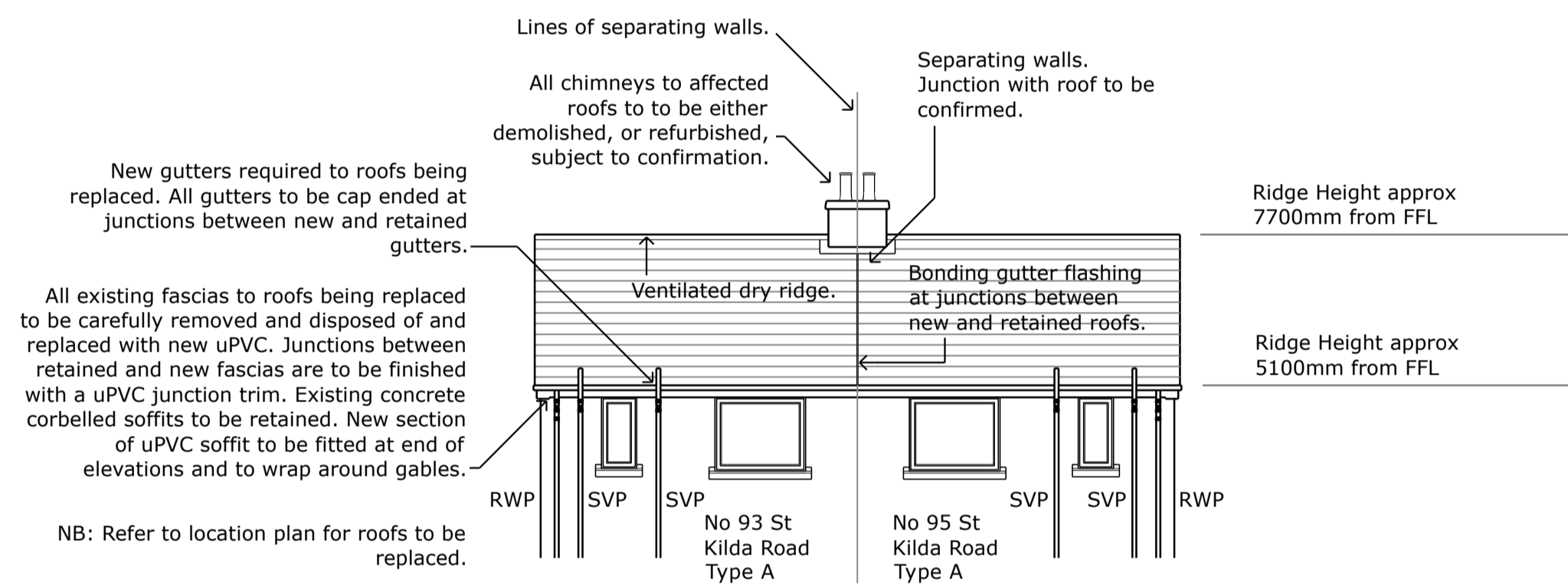
Table with 4 columns: Revision, Description, Checked, Date. Includes project details for Dundee City Council, Project Title: Proposed Roofing Works, Drawing Title: Roof Plan & Specification, and contact information for City Development.



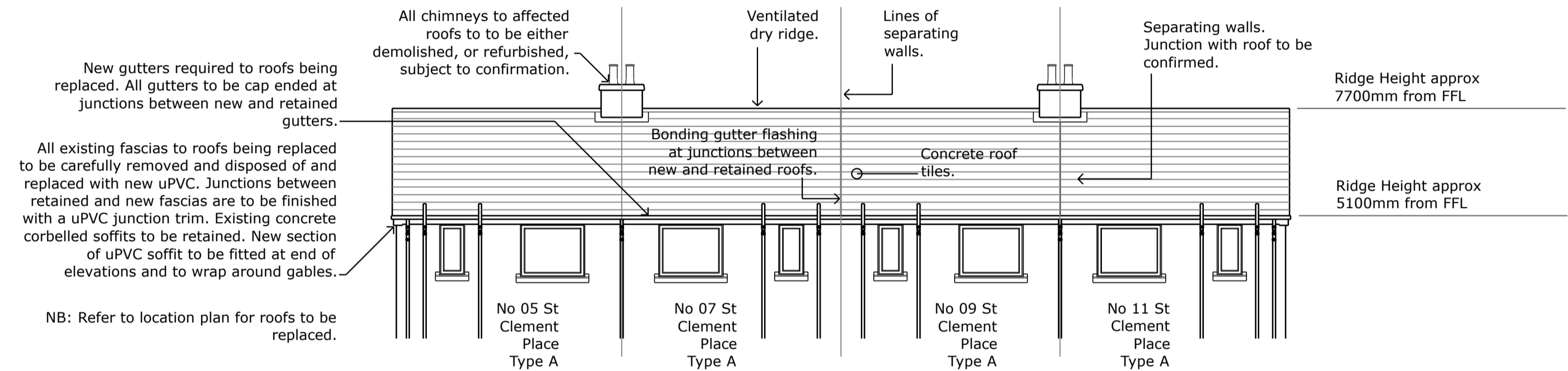
Front Roof Elevation @ 1:100



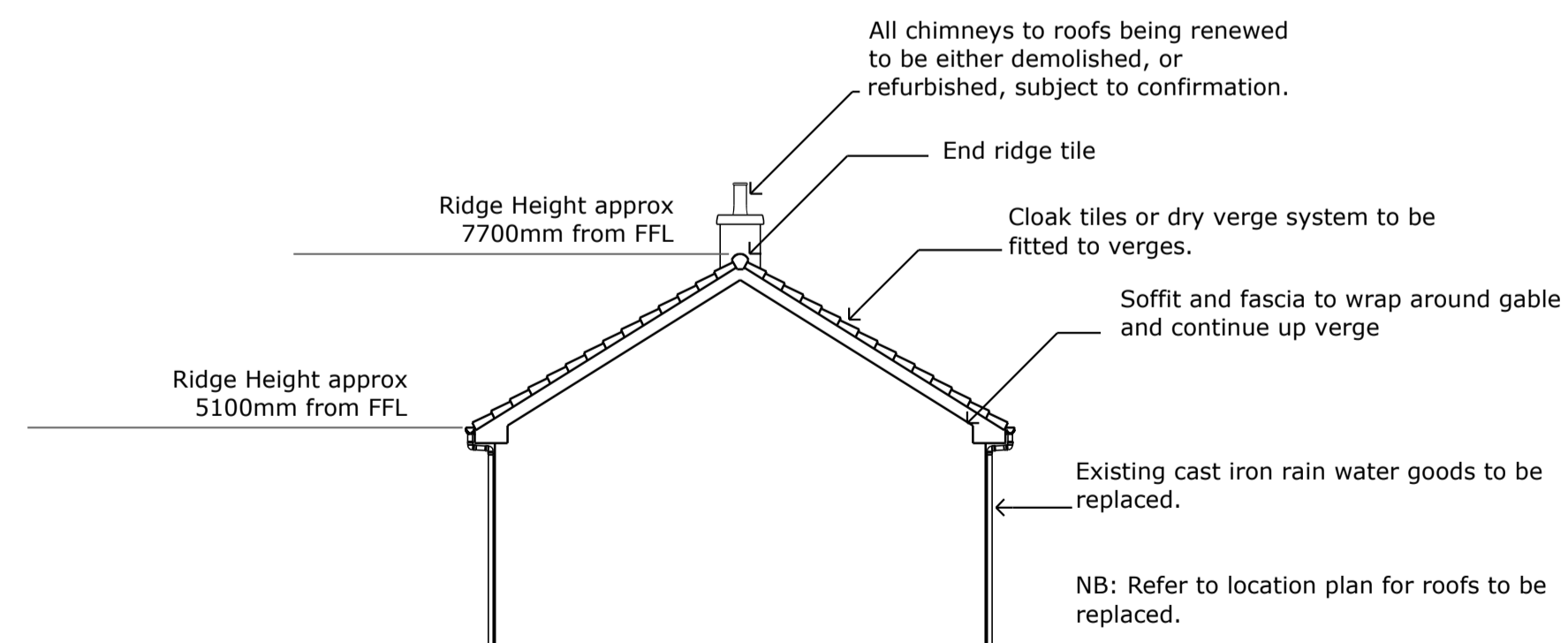
Front Roof Elevation @ 1:100



Rear Roof Elevation @ 1:100




Rear Roof Elevation @ 1:100

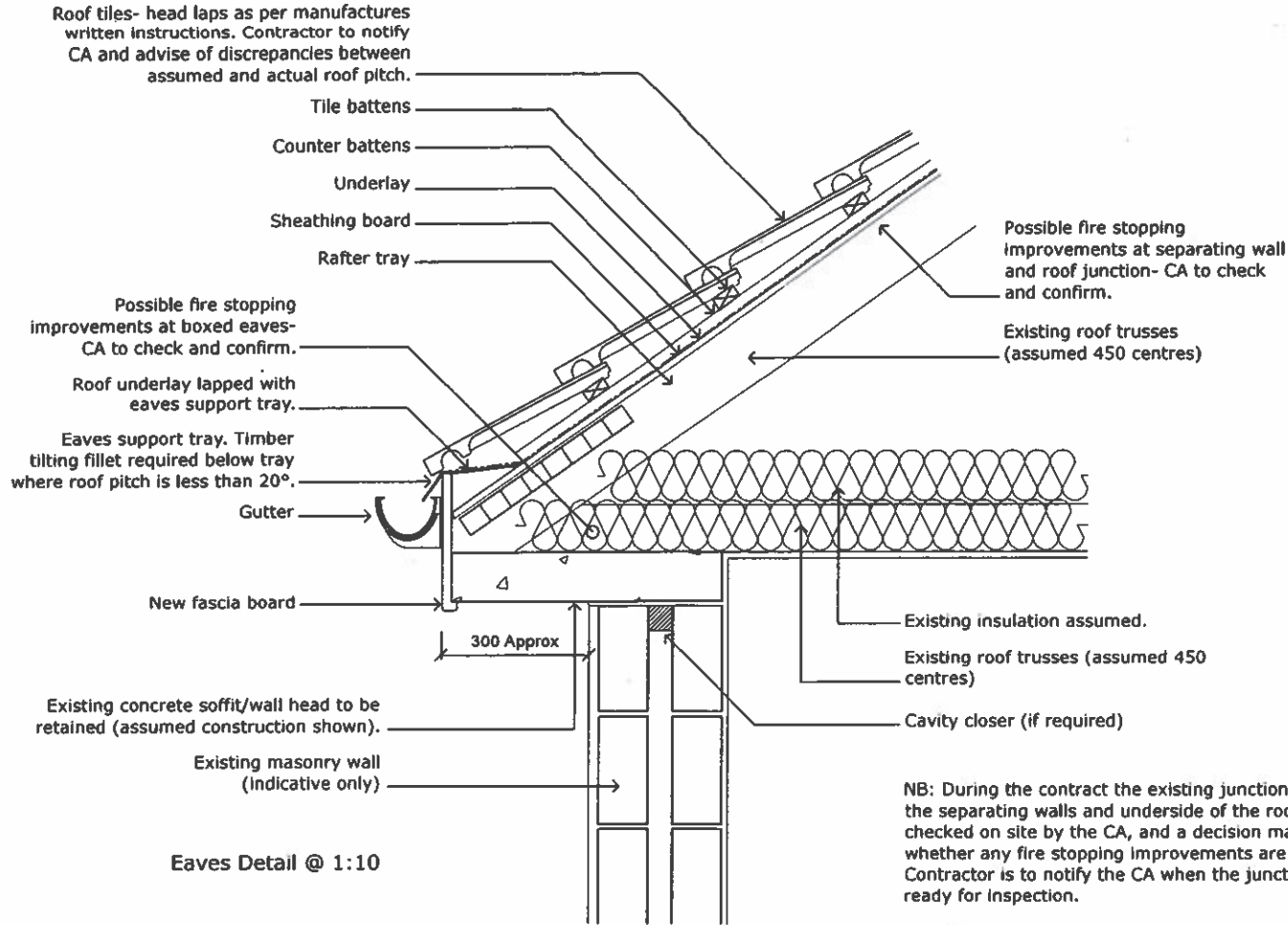


Front Right Elevation 93 St Kilda Road Type A

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Revision	Description	Checked	Date
			
Project Title		Proposed Roofing Works St Marys 10th Development Phase 3	
Drawing Title		Elevations Building Type A	
City Development Design & Property Division		Scale	1:100 @ A1
Date	Mar 20	Rev	T0
City Development, Dundee House, 50 North Lindsay Street, Dundee, DD11LS Tel: 01382 434000			

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NB: During the contract the existing junction between the separating walls and underside of the roof are to be checked on site by the CA, and a decision made whether any fire stopping improvements are required. Contractor is to notify the CA when the junction is ready for inspection.

NB: All detail drawings are to be read in conjunction with the plans and specification notes

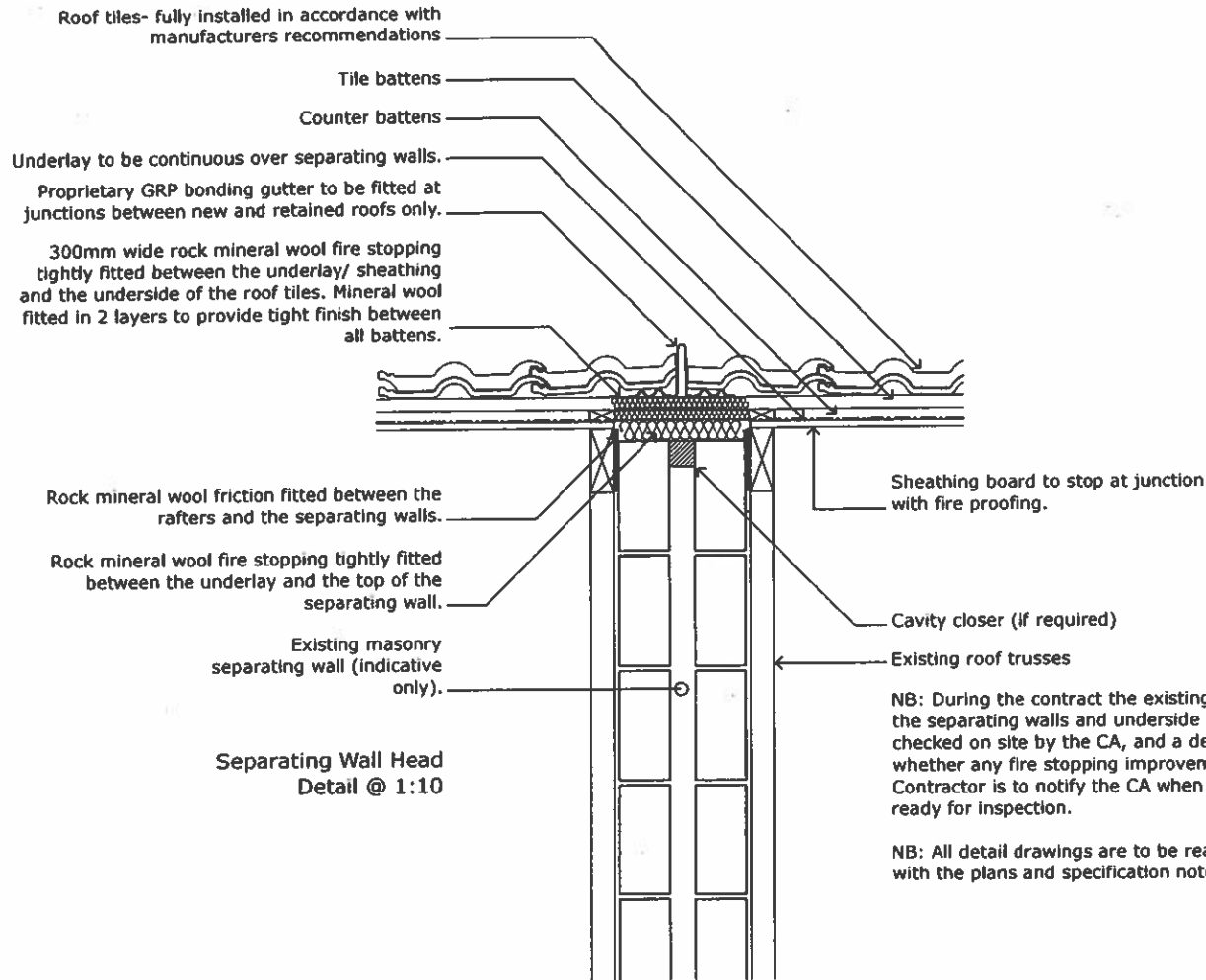
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Revision	Description	Checked	Date
 City Development Design & Property Division		Project Title	Proposed Roofing Works St Marys 10th Development Phase 3
		Drawing Title	Eaves Detail
		File Ref.	19-514
		DCC ID	
		Drwg No.	401
Drawn	Checked	Scale	Date
[redacted]	[redacted]	1:10 @ A3	Mar 20
		Rev.	T0
City Development, Dundee House, 50 North Lindsay Street, Dundee, DD11LS Tel: 01382 434000			

Bill




NB: During the contract the existing junctions between the separating walls and underside of the roof are to be checked on site by the CA, and a decision made whether any fire stopping improvements are required. Contractor is to notify the CA when the junction is ready for inspection.

NB: All detail drawings are to be read in conjunction with the plans and specification notes.

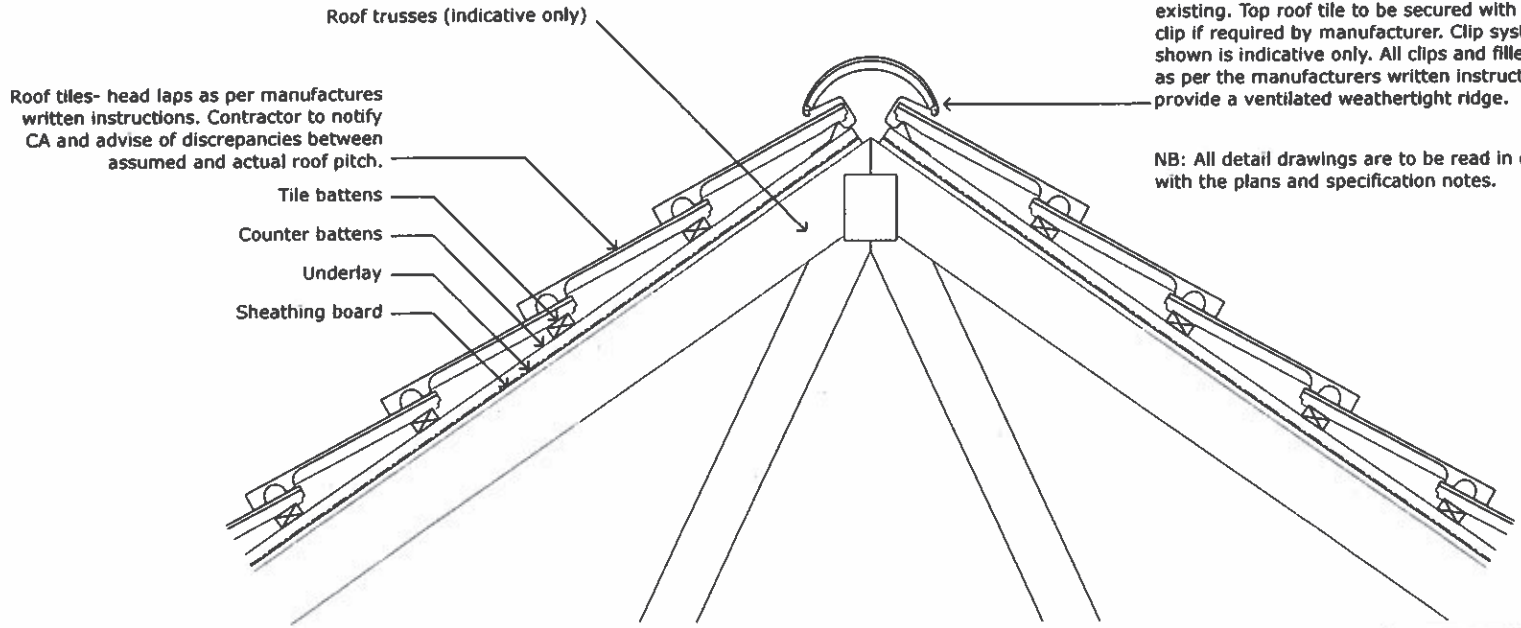
BILL OF QUANTITIES

RECEIVED
By [redacted] at 11:42 am, Aug 05, 2020

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Revision	Description	Checked	Date
 City Development Design & Property Division		Project Title	Proposed Roofing Works St Marys 10th Development Phase 3
		Drawing Title	Separating Wall/ Roof Junction Detail
		File Ref.	19-514
		DCC ID	
		Drwg No.	403
Drawn	Checked	Scale	Date
[redacted]	[redacted]	1:10 @ A3	Mar 20
			Rev. T0
City Development, Dundee House, 50 North Lindsay Street, Dundee, DD11LS Tel: 01382 434000			

5




Proprietary ventilated dry ridge system installed in accordance with manufacturers instructions. Ridge tiles material, colour, and finish is to match existing. Top roof tile to be secured with hidden clip if required by manufacturer. Clip system shown is indicative only. All clips and fillers to be as per the manufacturers written instructions to provide a ventilated weathertight ridge.

NB: All detail drawings are to be read in conjunction with the plans and specification notes.

Ridge Detail @ 1:10

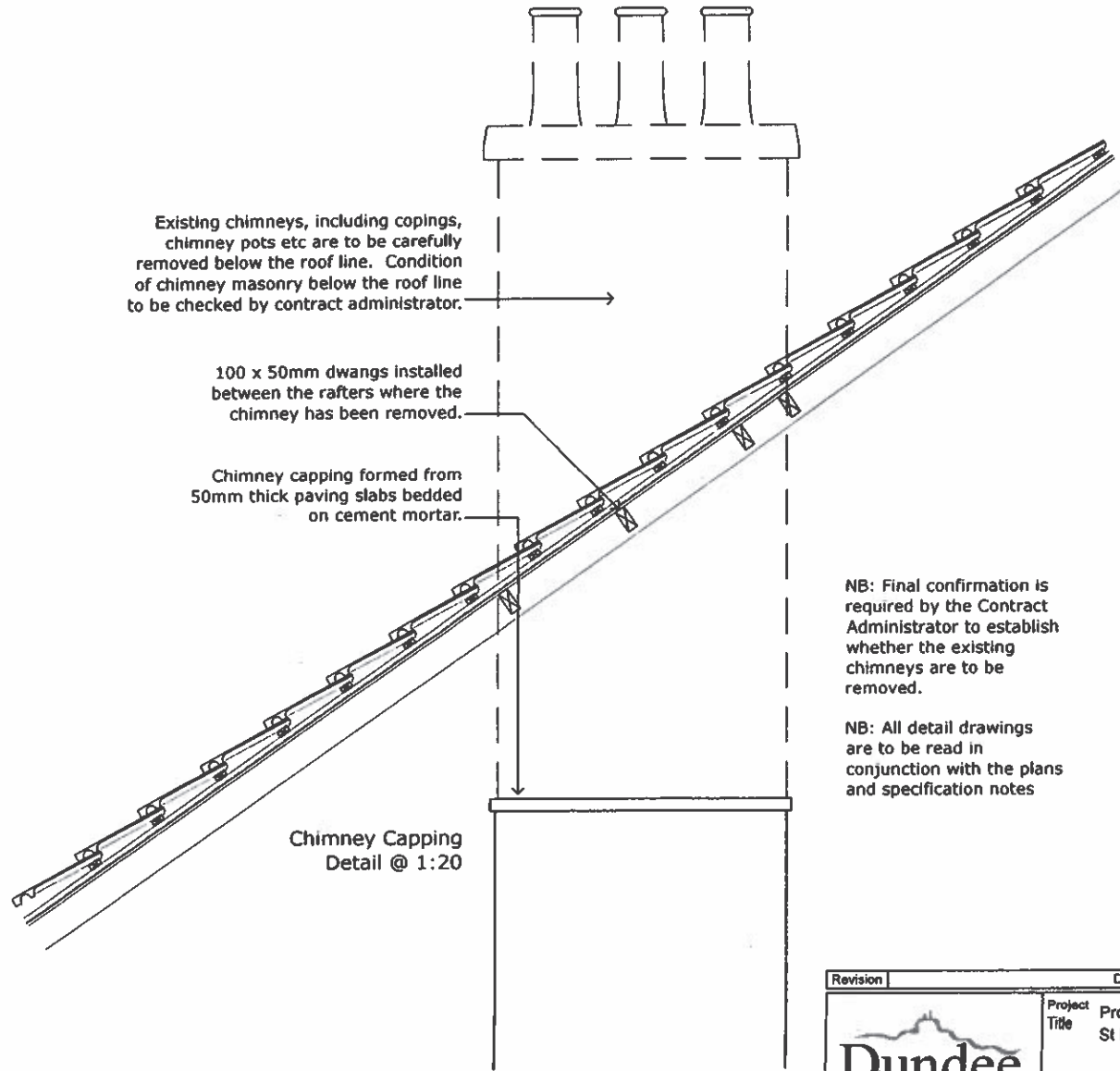
BILL OF QUANTITIES

RECEIVED
By [redacted] t 11:43:am, Aug 05, 2020

Revision	Description	Checked	Date
 City Development Design & Property Division	Project Title Proposed Roofing Works St Marys 10th Development Phase 3		File Ref. 19-514
	Drawing Title Ridge Detail		DCC ID Drwg No. 404
	Drawn [redacted]	Checked [redacted]	Scale 1:10 @ A3
			Date Mar 20
			Rev. T0
City Development, Dundee House, 50 North Lindsay Street, Dundee, DD11LS Tel: 01382 434000			

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5x1




NB: Final confirmation is required by the Contract Administrator to establish whether the existing chimneys are to be removed.

NB: All detail drawings are to be read in conjunction with the plans and specification notes

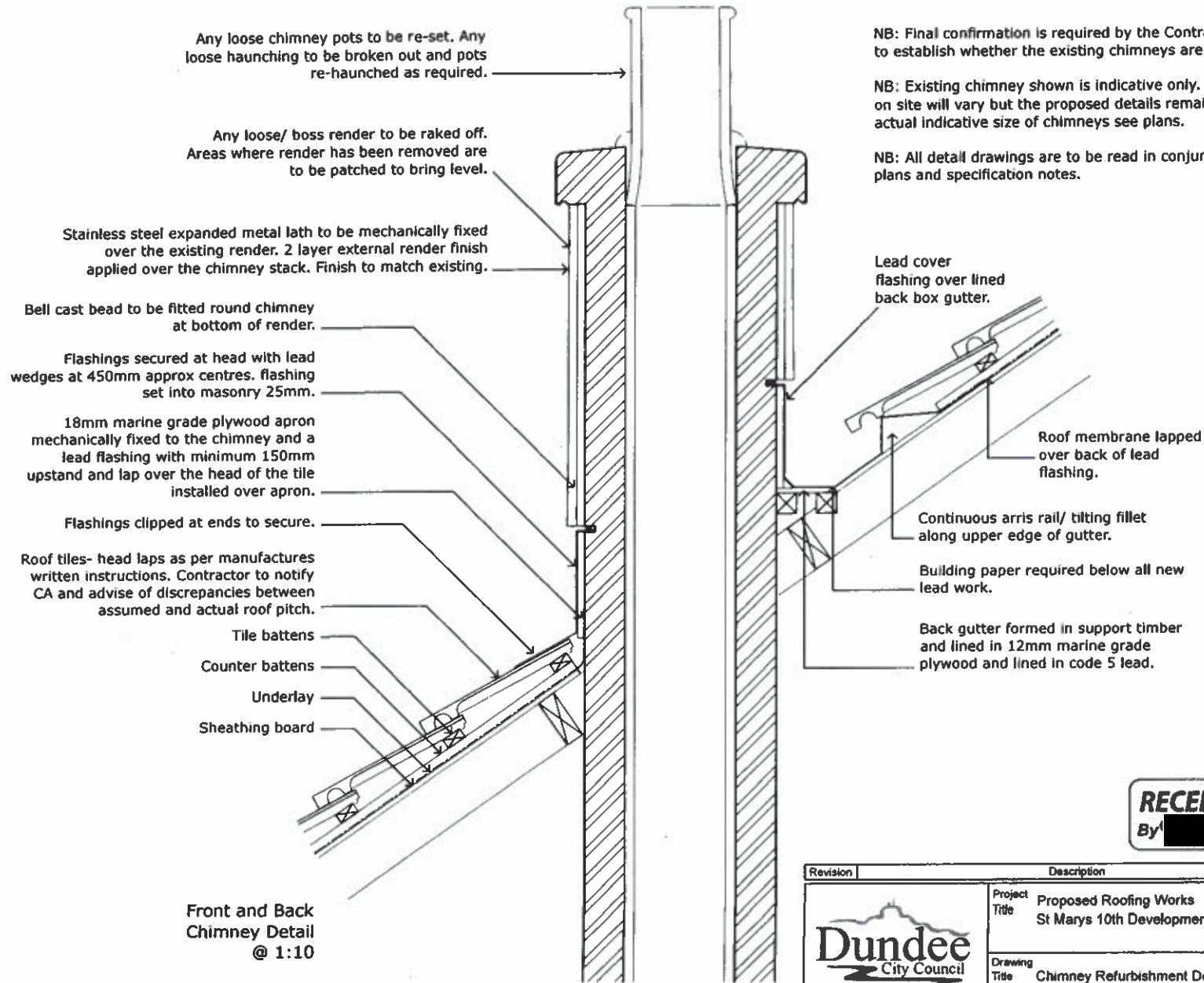
BILL OF QUANTITIES

RECEIVED
By [redacted] 11:44 am, Aug 05, 2020

Revision	Description	Checked	Date
 City Development Design & Property Division		Project Title	Proposed Roofing Works St Marys 10th Development Phase 3
		File Ref.	19-514
		Drawing Title	Chimney Capping Detail
		DCC ID	
		Scale	1:20 @ A3
		Drawn	[redacted]
		Checked	[redacted]
		Drwg No.	405
		Date	Mar 20
		Rev.	T0
City Development, Dundee House, 50 North Lindsay Street, Dundee, DD11LS Tel: 01382 434000			

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Exit



NB: Final confirmation is required by the Contract Administrator to establish whether the existing chimneys are to be refurbished.


NB: Existing chimney shown is indicative only. Actual chimneys on site will vary but the proposed details remain the same. For actual indicative size of chimneys see plans.

NB: All detail drawings are to be read in conjunction with the plans and specification notes.

Front and Back Chimney Detail @ 1:10

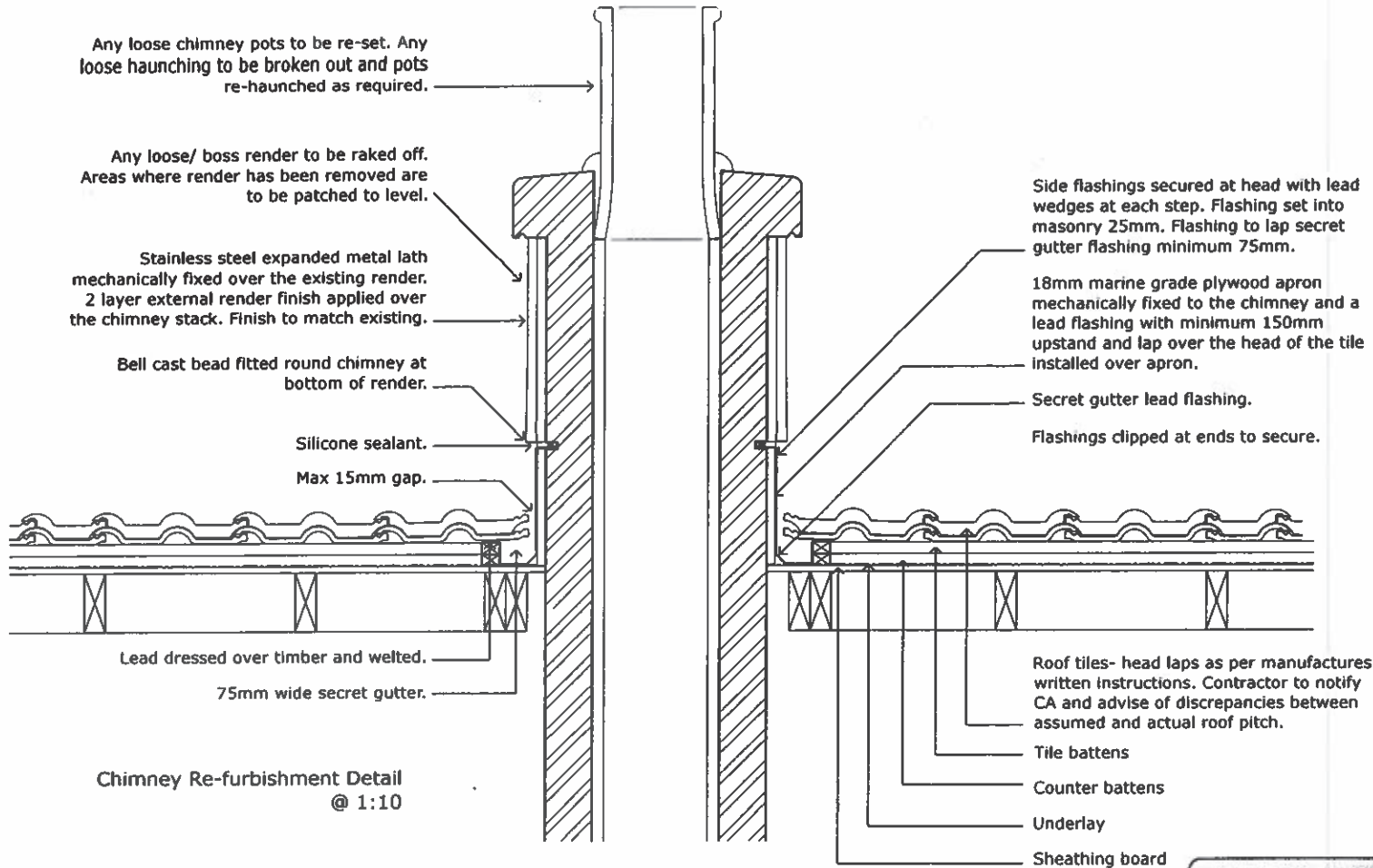
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RECEIVED
By [redacted] at 11:44 am, Aug 05, 2020

Revision	Description	Checked	Date
 City Development Design & Property Division		Project Title	Proposed Roofing Works St Marys 10th Development Phase 3
		Drawing Title	Chimney Refurbishment Detail Front and Back
Drawn	Checked	Scale	File Ref. 19-514 DCC ID Dwg No. 406
		1:10 @ A3	Date Mar 20 Rev. T0
City Development, Dundee House, 50 North Lindsay Street, Dundee, DD11LS Tel: 01382 434000			

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5
Kiri




Chimney Re-furbishment Detail
@ 1:10

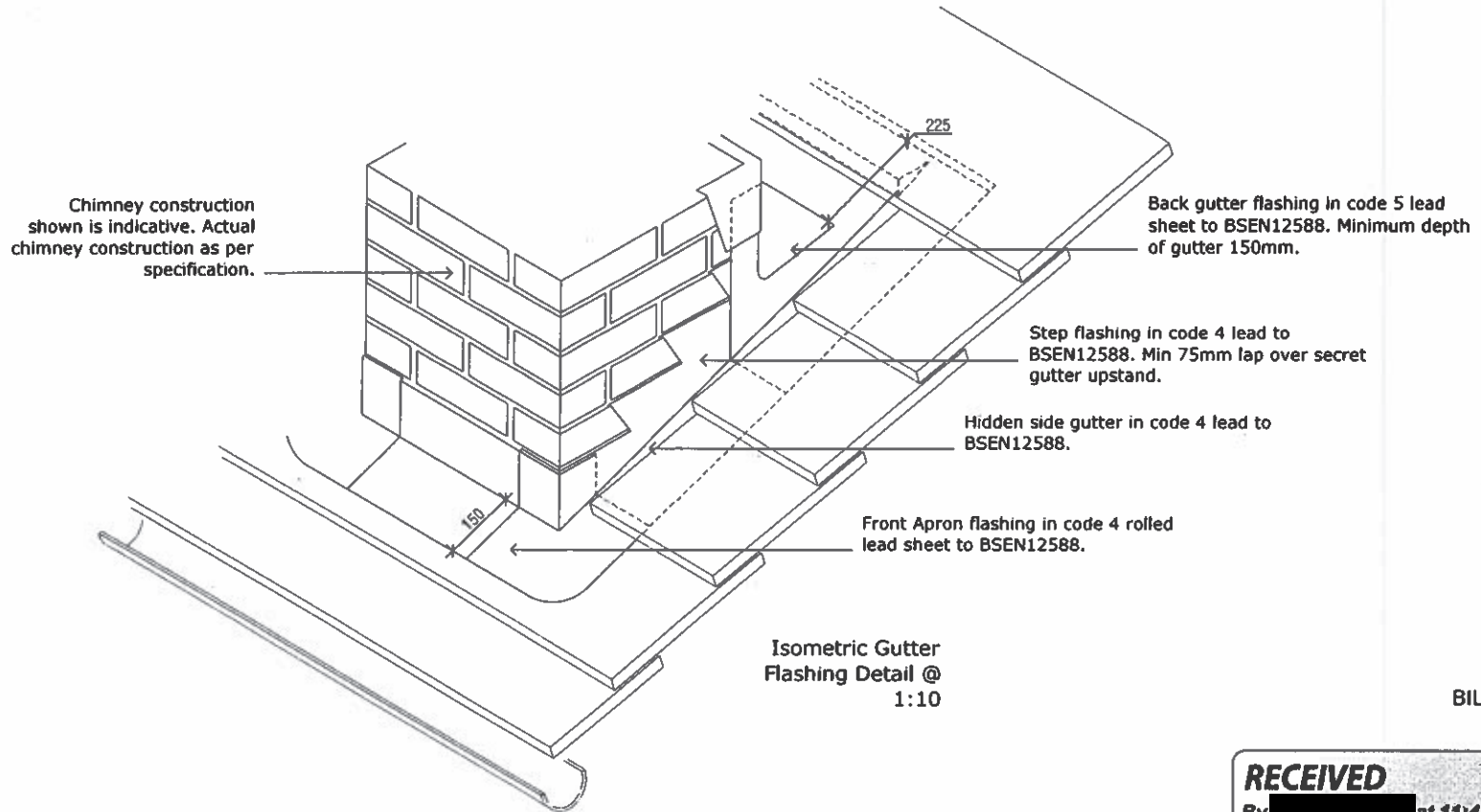
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By [redacted] at 11:45 am, Aug 05, 2020

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Revision	Description	Checked	Date
 City Development Design & Property Division	Project Title Proposed Roofing Works St Marys 10th Development Phase 3		File Ref. 19-514 DCC ID
	Drawing Title Chimney Refurbishment Detail Sides		Drwg No. 407
	Drawn [redacted]	Checked [redacted]	Date Mar 20
	Scale 1:10 @ A3		Rev. T0
City Development, Dundee House, 50 North Lindsay Street, Dundee, DD11LS Tel: 01382 434000			


S.M.V.



BILL OF QUANTITIES

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 By [redacted] at 11:46 am, Aug 05, 2020

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Revision	Description	Checked	Date
 City Development Design & Property Division		Project Title	
		Proposed Roofing Works St Marys 10th Development Phase 3	
Drawing Title Isometric Chimney Flashing Detail		File Ref.	
		19-514	
Drawn [redacted]		OCC ID	
Checked [redacted]		Drwg No.	
		408	
Scale 1:10 @ A3		Date	Rev.
		Mar 20	T0
City Development, Dundee House, 50 North Lindsay Street, Dundee, DD11LS Tel: 01382 434000			

B20

F 022 CLERK OF WORKS WEEKLY REPORT

Project Nr	EW17J	Project Title	ST MARYS 10th
Client Ref			

To be completed by lead COW's	To be completed by all COW's
-------------------------------	------------------------------

GENERAL			
PERSONNEL		Report Number	NO.12
Supervising Officer		Week Ending	03/12/2021
Contractor	EDCS	Contract Start Date	15/11/2021
Clerk of Works		Contract Comp. Date	06/05/2022
Site Supervisor		Predicted Comp. Date	T.B.C
Site Phone No		Progress Against Prog.	none to report
		Emergency Phone No.	

WEATHER REPORT					
Day	AM	°C	PM	°C	Hours Lost
Monday	DRY		DRY		
Tuesday	DRY		DRY		
Wednesday	SHOWERS		SHOWERS		
Thursday	DRY		DRY		
Friday	RAIN		RAIN		
Saturday					
Sunday					
Total Hours Lost (in week)					NOT GIVEN
Total Hours Lost (to date)					NOT GIVEN

INFORMATION	
Drawings and Info required (if none write none)	NONE
Attachments to Report (if none write none)	NONE
Difficulties (including shortages which may cause delays and action taken)	NONE RECORDED
Digital Photo Record	CONTRACTOR HAS ON FILE
Visitors	NONE RECORDED

SUMMARY OF WORK IN PROGRESS							
	%		%		%		%
Preliminaries		Patent Roofing		Down Taking		Gas Mains	
Excavations		Steel Erection		Floor Covering		Electric Mains	
Concrete Foundations		Timber Frame		Floor Screed		Water Mains	
Piling		Joinery 1 st Fix		Mastic Application		Telecom Mains	
Foundations		Joinery 2 nd Fix		Lifts		External Works	
Asphalt Tanking		Window Fixing				Electrical 1 st Fix	
Asphalt Roofing		Glazing				Electrical 2 nd Fix	
Brickwork/Block External		Plastering				Heating 1 st Fix	
Brickwork/Block Internal		Metalwork				Heating 2 nd Fix	
Drainage		Decorating				Ventilation 1 st Fix	
Paving and Flooring		Ceiling grid/tiles				Ventilation 2 nd Fix	
Masonry		Roof Structure				Water 1 st Fix	
Slater and Tiler		Roof Covering				Water 2 nd Fix	
Suspended Floor		Cladding				Defects / Handover	
Concrete Structure		Render				Commissioning	

ANY INCIDENTS CONTRARY TO GOOD HEALTH AND SAFETY PRACTICE
NONE RECORDED

ANY INCIDENTS CONTRARY TO GOOD ENVIRONMENTAL MANAGEMENT PRACTICE
NONE RECORDED

GRADED BS5534 IMPORTED 25x50 CATG





Dundee
City Council

Environment

**CHANGING
FOR THE FUTURE**

Request for Information:**RFI :Rolling sheet.****Contract: St Mary's 10th Phase 3****Contract Number 1030/113**To:- From:- 

Date Requested	Question :	Date Required	Answer:	Response Issued
29/10/21	1 Protec A1 under tile felt to be used	ASAP	This is OK	
29/10/21	2 Double Roman Red tiles to be used	ASAP	This is Ok	
29/10/21	3 Cloak Verge preferred but dry verge can be used	ASAP	AI no 03 has been issued to confirm that plastic verges are to be used.	
29/10/21	4 UPVC Facia/soffit to be BLACK/GREY in colour (usually white) OR is this now deleted	ASAP	AI no 03 confirms fascias to be white.	
29/10/21	5 Are existing roofs celetex or sarking	ASAP	The existing roofs have a timber based 'celetex' type board.	
29/10/21	6 Has Bat survey been carried out if so can you forward this on	ASAP	Bat survey has been provided.	
29/10/21	7 Does nesting bird survey still require to be carried out	ASAP	No bird survey is required as we are out of nesting season. If any birds are under the tiles they will fly away and nest elsewhere.	

Architect's Instruction

Client: Director of City Development
 Address: Floor 5, Dundee House, Dundee

Project Ref: 19-514

Contractor: EDCS
 Address: 353 Clepington Road
 Dundee
 DD3 8PL

Certificate No: 01

Issue Date: 7 June 2021

Contract Dated: 18/11/20

Sheet: 1 of 1

Under the terms of the above-named Contract, I/we issue the following instructions:

001	Carry out works in accordance with drawings as listed in drawing register dated the 07/06/21(A). Drawings all as per tender issue but updated to construction issue.	Office Use: £ omit	Approx Costs £ add
To be signed for and On behalf of the issue Named below Signed [REDACTED] City Architect			
Amount of Contract Sum		£	
± Approximate value of previous Instructions		£	
± Approximate value of this instruction		£	
Approximate adjusted total		£	

Distribution

Original to:



Contractor



Copies to:

Client



Quantity Surveyor



Nominated Sub-Contractor



Clerk of Works



File

DUNDEE CITY COUNCIL

City Development

[REDACTED]
 City Architect
 Floor 5, Dundee House
 50 North Lindsay Street
 Dundee DD1 1LS

Telephone [REDACTED]

Table of Contents

Title		Page
H60	Plain roof tiling	3
H71	Lead sheet coverings/ flashings	7
R10	Rainwater drainage systems	11

H60 Plain roof tiling

To be read with Preliminaries/General conditions.

TYPES OF TILING**125 CONCRETE ROOF TILING WITH COUNTERBATTENS TO EXISTING ROOFS**

- Substrate: Timber sarking on rafters at 450 mm centres.
- Pitch: 35° .
- Underlay: Reinforced bitumen membrane to BS 8747, type 1F .
 - Recycled content: Contractor's choice.
 - Direction: Parallel to eaves.
 - Head-lap (minimum): 100 mm.
- Counterbattens:
 - Size: 38 x 19 mm.
 - Fixing: 65 x 3.35 mm galvanized annular ring shank nails .
- Battens:
 - Size: 38 x 25 mm.
 - Fixing: 65 x 3.35 mm galvanized annular ring shank nails .
- Tiles: To BS EN 490, noninterlocking.
 - Manufacturer: www.marleyeternit.co.uk

roofinginfo@marleyeternit.co.uk

T: +44 (0)1283 722588

F: +44 (0)1283 722219

Lichfield Road, Branston, Burton-on-Trent. DE14 3HD.

Product reference: Modern Concrete plain tiles. .

- Pattern: None.
- Colour: Smooth grey.
- Size: 267 mm x 168 mm.
- Recycled content: Contractor's choice.
- Head-lap (minimum): 65 mm.
- Fixing:
 - Fixing of local areas: Two nails per tile in every course .
 - Fixing of general areas: Two nails per tile in every fifth course .
- Accessories: None.

TILING GENERALLY**210 BASIC WORKMANSHIP**

- General: Fix tiling and accessories to make the whole sound and weathertight at earliest opportunity.
- Setting out: To true lines and regular appearance, with neat fit at edges, junctions and features.
- Fixings for tiling accessories: As recommended by tile or accessory manufacturer.
- Gutters and pipes: Keep free of debris. Clean out at completion.

240A UNDERLAY

- Laying: Maintain consistent tautness.
- Vertical laps (minimum): 100 mm wide, coinciding with supports and securely fixed.
- Fixing: Galvanized steel, copper or aluminium 20 x 3 mm extra large clout head nails.
- Eaves: Where exposed, underlay must be BS 8747 Annex B, type 1F, or equivalent UV durable type.
- Penetrations: Use proprietary underlay seals or cut underlay to give a watertight fit around pipes and components.
- Ventilation paths: Do not obstruct.

245 BATTENS/ COUNTERBATTENS - TREATED

- Timber: Sawn softwood.
 - Standard: BS 5534, clause 4.12.1.
 - Permissible characteristics and defects: Not to exceed limits in BS 5534, Annex C.
 - Moisture content at time of fixing and covering (maximum): 22%.
- Preservative treatment: As section Z12 and Wood Protection Association Commodity Specification C8.
 - Type: Contractor's choice.

255 COUNTERBATTENS ON RIGID SARKING

- Fixing: Through rigid sarking into rafters at not more than 300 mm centres.

265 BATTEN FIXING

- Setting out: Align parallel to ridge in straight horizontal lines to gauge of tiles. Align on adjacent areas.
- Batten length (minimum): Sufficient to span over three supports.
- Joints in length: Square cut. Butt centrally on supports. Joints must not occur more than once in any group of four battens on one support.
- Additional battens: Provide where unsupported laps in underlay occur between battens.
- Fixing: Each batten to each support. Splay fix at joints in length.

275 TILE FIXING

- Setting out: Lay tiles to a half lap bond with joints slightly open. Align tails.
- Ends of courses: Use tile and a half tiles to maintain bond and to ensure that cut tiles are as large as possible.
- Top and bottom courses: Use eaves/tops tiles to maintain gauge.
- Perimeter tiles:
 - Verges, abutments and each side of valleys and hips: Twice nail end tile in every course.
 - Eaves and top edges: Twice nail two courses of tiles or clip as appropriate.
- Fixings for tiles: Nails/clips recommended by tile manufacturer.

280 LOCAL AND GENERAL FIXING AREAS

- Definitions:
 - Local areas: Bands of tiling around all edges or obstructions of each plane of the roof. Calculate extent of each band in accordance with BS 5534, section 5.
 - General areas: Remaining areas of roof tiling.

290 MORTAR BEDDING/ POINTING

- Mortar: As section Z21, 1:3 cement:sand, with plasticizing admixtures permitted.
 - Bond strength providing resistance to uplift: To BS 5534.
- Weather: Do not use in wet or frosty conditions or when imminent.
- Preparation of tiles and accessories to be bedded: Wet and drain surface water before fixing.
- Appearance: Finish neatly as work proceeds and remove residue.

ROOF TILING EDGES/ JUNCTIONS/ FEATURES**305 GENERALLY**

- Fittings and accessories: As recommended by tile manufacturer, do not improvise.
 - Exposed fittings and accessories: To match tile colour and finish.
- Cut tiles: Cut only where necessary, to give straight, clean edges.
- Flashings: Fix with or immediately after tiling. Form neatly.

325 FIRE SEPARATING WALLS

- Separating walls: Completely fill space between top of wall and underside of tiles with mineral wool quilt to provide fire stopping.
- Boxed eaves: Completely seal air paths in plane of separating wall with wire reinforced mineral wool, not less than 50 mm thick, fixed to rafters and carefully cut to shape to provide fire stopping.

525 MITRED HIPS

- Underlay: Lay courses over hip.
 - Overlaps (minimum): 150 mm.
- Mitred tiles: Cut tile and a half tiles and fix to form a straight, close mitred junction.
- Soakers: Interleave with mitred tiles. Fix by turning down over head of mitred tiles.

635 MITRED VALLEYS

- Underlay: Lay strips not less than 600 mm wide centred on valleys. Overlap with general roof underlay.
- Mitred tiles: Cut tile and a half tiles and fix to form a straight, close mitred junction.
- Soakers: Interleave with mitred tiles. Fix by turning down over head of mitred tiles.

660 SIDE ABUTMENTS

- Underlay: Turn up not less than 100 mm at abutments.
- Abutment tiles: Cut as necessary. Fix close to abutments.
- Soakers: Interleave with abutment tiles. Fix by turning down over head of abutment tiles.

670 TOP EDGE ABUTMENTS

- Underlay: Turn up not less than 100 mm at abutments.
- Top course tiles: Fix close to abutments.

700 DRY VENTILATED RIDGES

- Underlay: Provide air gap at apex.
- Dry ridge fixing battens: 50X50mm.
- Dry ridge tiles:
 - Manufacturer: www.marleyetemit.co.uk

roofinginfo@marleyetemit.co.uk

T: +44 (0)1283 722588

F: +44 (0)1283 722219

Lichfield Road, Branston, Burton-on-Trent. DE14 3HD.

Product reference: DRY RIDGE.

- Ridge terminals:
 - Manufacturer: Not required.
 - Product reference: Not required.

Page 6 of 13

840 VENTILATOR TILES

- Ventilator tiles:
 - Manufacturer: www.hambleside-danelaw.co.uk

marketing@hambleside-danelaw.co.uk

T: +44 (0)1327 701900

F: +44 (0)1327 701909

Long March, Daventry. NN11 4NR or equal and approved by CA .

Product reference: HDTV 15/1 .

- Requirement: To ventilate roof void .
- Positions: Eaves, in lowest course clear of insulation .

H71 Lead sheet coverings/ flashings

To be read with Preliminaries/ General conditions.

TYPES OF LEADWORK**200 GUTTER LINING**

- Substrate: Existing timber boarding.
 - Preparation: Not required.
- Underlay: Needle punched nonwoven polyester geotextile .
- Type of lead: Rolled to BS EN 12588.
 - Thickness: 2.00 or 2.24 mm (Code 5).
- Pretreatment: N/A.
- Joints in direction of fall: N/A.
 - Spacing: N/A.
- Cross joints: TPREN BONDED EXPANSION JOINT .
 - Spacing: 2000 mm.
- Outlets: Turn down 75 mm into fascia gutter.

410 APRON FLASHINGS TO ABUTMENT

- Lead:
 - Thickness: 2.00 or 2.24 mm (Code 5).
- Dimensions:
 - Lengths: Not more than 1500 mm.
 - End to end joints: Laps of not less than 100 mm.
 - Upstand: Not less than 75 mm.
 - Cover to abutment: Not less than 150 mm.
- Fixing: Lead wedges into bed joint, clips to bottom edge at laps and 500 mm centres .

430 COVER FLASHINGS TO ABUTMENT FLASHINGS

- Lead:
 - Thickness: 2.00 or 2.24 mm (Code 5).
- Dimensions:
 - Lengths: Not more than 1500 mm.
 - End to end joints: Laps of not less than 100 mm.
 - Overlap to upstand: Not less than 50 mm.
 - Cover to roof: Not less than 75 mm.
- Fixing: Lead wedges into bed joint, clips to lead upstand at laps and 500 mm centres .

474 CHIMNEY FLASHINGS TO SINGLE LAP TILE ROOFS

- **Lead front apron:**
 - Thickness: 2.00 or 2.24 mm (Code 5).
 - Dimensions:
 - Length: Width of chimney plus not less than 150 mm underlap to each side flashing.
 - Upstand: Not less than 75 mm.
 - Cover to roof: Not less than 150 mm.
 - Fixing: Lead wedges into bed joint.
- **Lead side step and cover flashings:**
 - Thickness: 2.00 or 2.24 mm (Code 5).
 - Dimensions:
 - Lengths: Not more than 1500 mm.
 - End to end joints: Laps of not less than 100 mm.
 - Upstand: Not less than 65 mm.
 - Cover to roof: Not less than 150 mm.
 - Fixing: Lead wedges at every course and clips (clause 715) at not more than 500 mm centres along free edge.
- **Lead back gutter:**
 - Thickness: 2.00 or 2.24 mm (Code 5).
 - Dimensions:
 - Length: Width of chimney plus not less than 100 mm overlap to each side flashing.
 - Upstand: Not less than 100 mm.
 - Gutter sole: Not less than 150 mm.
 - Cover up roof not less than 225 mm.
- **Lead back gutter cover flashing:**
 - Thickness: 2.00 or 2.24 mm (Code 5).
 - Dimensions:
 - Length: Width of chimney plus not less than 100 mm overlap to each side flashing.
 - Cover: Overlap to back gutter upstand of not less than 75 mm.
 - Fixing: Lead wedges into bed joint.

GENERAL REQUIREMENTS/ PREPARATORY WORK**510 WORKMANSHIP GENERALLY**

- **Standard:** To BS 6915 and latest edition of 'Rolled lead sheet. The complete manual' published by the Lead Sheet Association.
- **Fabrication and fixing:** To provide a secure, free draining and completely weathertight installation.
- **Operatives:** Trained in the application of lead coverings/ flashings. Submit records of experience on request.
- **Preforming:** Measure, mark, cut and form lead prior to assembly wherever possible.
- **Marking out:** With pencil, chalk or crayon. Do not use scribes or other sharp instruments without approval.
- **Bossing and forming:** Straight and regular bends, leaving sheets free from ripples, kinks, buckling and cracks.
- **Solder:** Use only where specified.
- **Sharp metal edges:** Fold under or remove as work proceeds.
- **Finished work:** Fully supported, adequately fixed to resist wind uplift but also able to accommodate thermal movement without distortion or stress.
 - Protection: Prevent staining, discolouration and damage by subsequent works.

516 LEADWELDING

- **In situ leadwelding:** Is permitted, subject to completion of a 'hot work permit' form and compliance with its requirements.

- 520 LEAD SHEET**
- Production method:
 - Rolled, to BS EN 12588, or
 - Machine cast and BBA certified, or
 - Sand cast, from lead free from bitumen, solder, other impurities, inclusions, laminations, cracks, air, pinholes and blowholes; to code thicknesses but with a tolerance (by weight) of $\pm 10\%$.
 - Identification: Labelled to show thickness/ code, weight and type.
- 555 LAYOUT**
- Setting out of longitudinal and cross joints: Submit proposals.
- 610 SUITABILITY OF SUBSTRATES**
- Condition: Dry and free of dust, debris, grease and other deleterious matter.
- 620 PREPARATION OF EXISTING TIMBER SUBSTRATES**
- Remedial work: Adjust boards to level and securely fix. Punch in protruding fasteners and plane or sand to achieve an even surface.
 - Defective boards: Give notice.
 - Moisture content: Not more than 22% at time of covering. Give notice if greater than 16%.
- 640 TIMBER FOR USE WITH LEADWORK**
- Quality: Planed, free from wane, pitch pockets, decay and insect attack (ambrosia beetle excepted).
 - Moisture content: Not more than 22% at time of fixing and covering. Give notice if greater than 16%.
 - Preservative treatment: Organic solvent as section Z12 and Wood Protection Association Commodity Specification C8.
- 645 NEEDLE PUNCHED NONWOVEN POLYESTER GEOTEXTILE UNDERLAY**
- Manufacturer: Contractor's choice.
 - Product reference: Submit proposals.
 - Weight: 200 g/m².
 - Recycled content: Contractor's choice.
- 650 LAYING UNDERLAY**
- Handling: Prevent tears and punctures.
 - Laying: Butt or overlap jointed onto a dry substrate.
 - Fixing edges: With copper or stainless steel staples or clout nails.
 - Do not lay over roof edges but do turn up at abutments.
 - Wood core rolls: Fixed over underlay.
 - Protection: Keep dry and cover with lead at the earliest opportunity.
- FIXING LEAD**
- 705 HEAD FIXING LEAD SHEET**
- Top edge: Secured with two rows of fixings, 25 mm and 50 mm from top edge of sheet, at 75 mm centres in each row, evenly spaced and staggered.
 - Sheets less than 500 mm deep: May be secured with one row of fixings, 25 mm from top edge of sheet and evenly spaced at 50 mm centres.

710 FIXINGS

- Nails to timber substrates: Copper clout nails to BS 1202-2, or stainless steel (austenitic) clout nails to BS 1202-1.
 - Shank type: Annular ringed, helical threaded or serrated.
 - Shank diameter: Not less than 2.65 mm for light duty or 3.35 mm for heavy duty.
 - Length: Not less than 20 mm or equal to substrate thickness.
- Screws to concrete or masonry substrates: Brass or stainless steel to BS 1210, tables 3 or 4.
 - Diameter: Not less than 3.35 mm.
 - Length: Not less than 19 mm.
 - Washers and plastic plugs: Compatible with screws and lead.
- Screws to composite metal decks: Self tapping as recommended by the deck and lead manufacturer/ supplier for clips.

790 SCREW FIXING INTO JOINTS/ CHASES

- Joint/ chase: Rake out to a depth of not less than 25 mm.
- Lead: Dress into joint/ chase and up back face.
 - Fixing: Into back face with stainless steel screws and washers and plastics plugs at not more than 450 mm centres, at every change of direction, and with at least two fixings for each piece of lead.
- Sealant: Contractor's choice.
 - Application: As section Z22.

JOINTING LEAD**880 WELTED JOINTS**

- Joint allowance: 50 mm overlap and 25 mm underlap.
- Copper or stainless steel clips: Fix to substrate at not more than 450 mm centres.
- Overlap: Welt around underlap and clips and lightly dress down.

970 PATINATION OIL

- Manufacturer: Contractor's choice.
 - Product reference: Submit proposals.
- Location: ALL NEW LEAD.
- Application: As soon as practical, apply a smear coating to lead, evenly in one direction and in dry conditions.

R10 Rainwater drainage systems

To be read with Preliminaries/ General conditions.

GENERAL**110 GRAVITY RAINWATER DRAINAGE SYSTEM**

- Rainwater outlets: Proprietary.
- Gutters: PVC-U.
- Pipework: PVC-U, external.
- Below ground drainage: EXISTING FIRECLAY.
- Disposal: To surface water drainage.
- Controls: Not applicable.
- Accessories: N/A.

PRODUCTS**350 PVC-U GUTTERS**

- Standard: To the relevant parts of BS EN 607 and BS EN 1462, Kitemark certified.
- Manufacturer: www.marley.co.uk

marketing@marleyext.com

T: +44 (0)1622 858888

F: +44 (0)1622 858725

Dickley Lane, Lenham, Maidstone. ME17 2DE.

- Product reference: DEEPFLOW.
- Recycled content: Contractor's choice.
- Profile: PVC-U gutter, HALF ROUND .
- Nominal size: 150 mm.
- Colour: Black.
- Brackets: PVC.
 - Fixings: Stainless steel screws.
 - Size: 50 x 5 mm.
- Accessories: Gutter stop ends.

FABRICATION**EXECUTION****600 PREPARATION**

- Work to be completed before commencing work specified in this section:
 - Below ground drainage. Alternatively, make temporary arrangements for dispersal of rainwater without damage or disfigurement of the building fabric and surroundings.
 - Painting of surfaces which will be concealed or inaccessible.

605 INSTALLATION GENERALLY

- **Electrolytic corrosion:** Avoid contact between dissimilar metals where corrosion may occur.
- **Plastics and galvanized steel pipes:** Do not bend.
- **Allowance for thermal and building movement:** Provide and maintain clearance as fixing and jointing proceeds.
- **Protection:**
 - Fit purpose made temporary caps to prevent ingress of debris.
 - Fit access covers, cleaning eyes and blanking plates as the work proceeds.

615 SETTING OUT EAVES GUTTERS - TO FALLS

- **Setting out:** To true line and even gradient to prevent ponding or backfall. Position high points of gutters as close as practical to the roof and low points not more than 50 mm below the roof.
- **Outlets:** Align with connections to below ground drainage.

635 FIXING PIPEWORK

- **Pipework:** Fix securely, plumb and/ or true to line.
- **Branches and low gradient sections:** Fix with uniform and adequate falls to drain efficiently.
- **Externally socketed pipes and fittings:** Fix with sockets facing upstream.
- **Additional supports:** Provide as necessary to support junctions and changes in direction.
- **Vertical pipes:**
 - Provide a loadbearing support at least at every storey level.
 - Tighten fixings as work proceeds so that every storey is self supporting.
 - Wedge joints in unsealed metal pipes to prevent rattling.
- **Wall and floor penetrations:** Isolate pipework from structure.
 - **Pipe sleeves:** As section P31.
 - **Masking plates:** Fix at penetrations if visible in the finished work.
- **Expansion joint pipe sockets:** Fix rigidly to buildings. Elsewhere, provide brackets and fixings that allow pipes to slide.

640 FIXING VERTICAL PIPEWORK

- **Bracket fixings:** Plugged and screwed into masonry.
- **Distance between bracket fixing centres (maximum):** 1800 mm.

650 JOINTING PIPEWORK AND GUTTERS

- **General:** Joint with materials and fittings that will make effective and durable connections.
- **Jointing differing pipework and gutter systems:** Use adaptors intended for the purpose.
- **Cut ends of pipes and gutters:** Clean and square. Remove burrs and swarf. Chamfer pipe ends before inserting into ring seal sockets.
- **Jointing or mating surfaces:** Clean and, where necessary, lubricate immediately before assembly.
- **Junctions:** Form with fittings intended for the purpose.
- **Jointing material:** Strike off flush. Do not allow it to project into bore of pipes and fittings.
- **Surplus flux, solvent jointing materials and cement:** Remove.

COMPLETION**900 TESTING GENERALLY**

- **Dates for testing:** Give notice.
 - **Period of notice (minimum): 3 DAYS.**
- **Preparation:**
 - **Pipework: Complete, securely fixed, free from defects, obstruction and debris before testing.**
- **Testing:**
 - **Supply clean water, assistance and apparatus.**
 - **Do not use smoke to trace leaks.**
- **Records:** Submit a record of tests.

910 GUTTER TEST

- **Preparation:** Temporarily block all outlets.
- **Testing:** Fill gutters to overflow level and after 5 minutes closely inspect for leakage.

920 IMMEDIATELY BEFORE HANDOVER

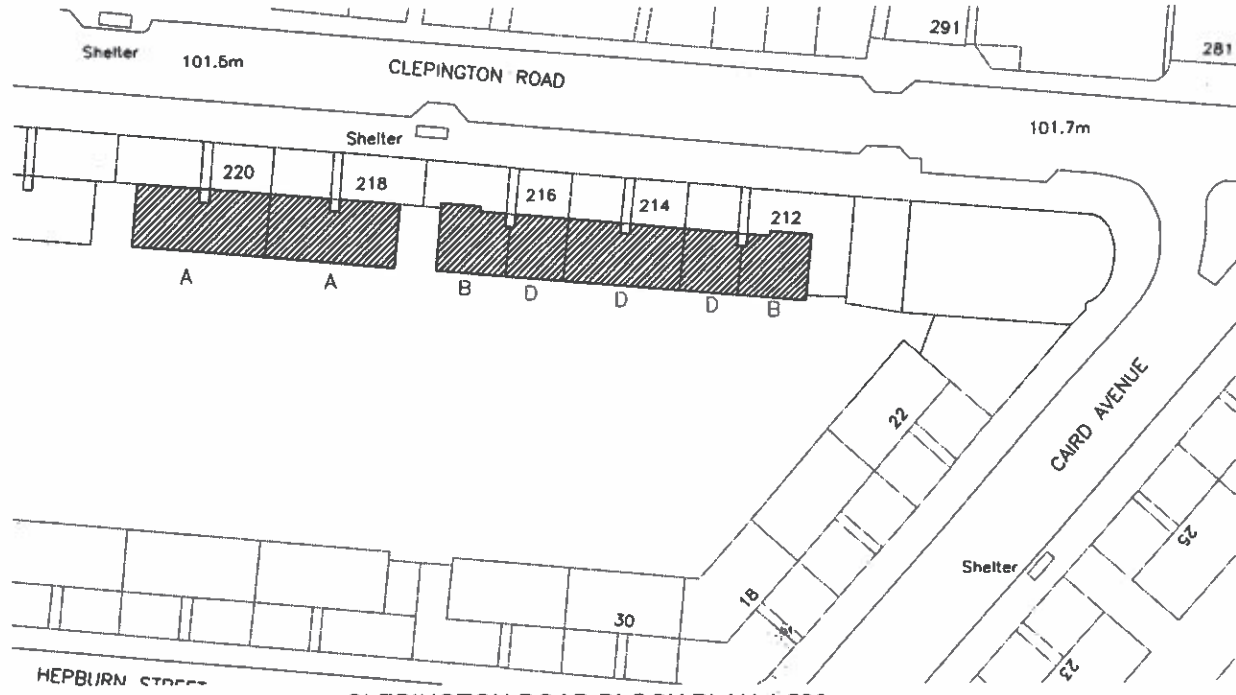
- **Construction rubbish, debris, swarf, temporary caps and fine dust which may enter the rainwater system: Remove. Do not sweep or flush into the rainwater system.**
- **Access covers, rodding eyes, outlet gratings and the like: Secure complete with fixings.**

APPENDIX 2

Cleington Road Phase 1

Properties Qualifying for Roof Replacement	Page 51
Ground Floor Plan Building Type A 218 and 220 Cleington Road	Page 52
Ground Floor Plan Building Type B and D 212, 214 and 216 Cleington Road	Page 53
Eaves Details	Page 54
Verge Details	Page 55
Chimney Capping Details	Page 56
Soil Vent Pipe Details	Page 57
Separating Wall/Roof Junction	Page 58
Ridge Details	Page 59
Front Chimney Flashing Details	Page 60
Rear Chimney Flashing Details	Page 61
Side Chimney Flashing Details	Page 62
Hip Details	Page 63
Valley Details	Page 64

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CLEPINGTON ROAD BLOCK PLAN 1:500



CLEPINGTON ROAD LOCATION PLAN 1:1250

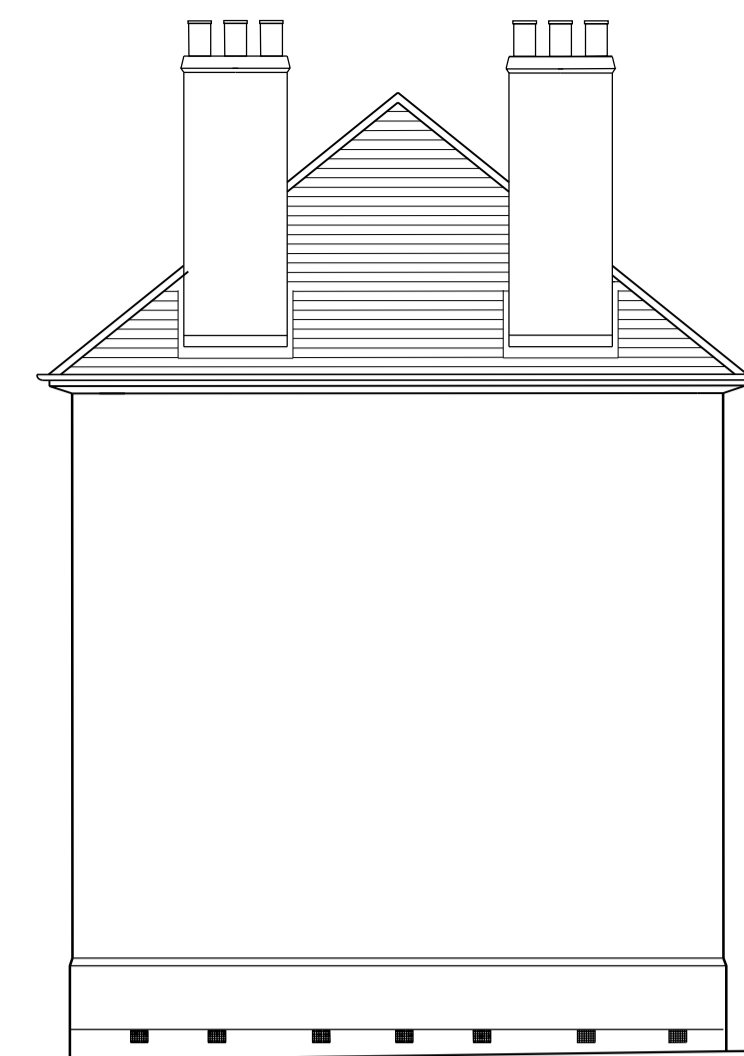
Properties Qualifying for Roof Replacement:

Numbers 212, 214, 216, 218 & 220 (All Council Owned).

Revision	Project Title	Checked/Date
	CLEPINGTON ROAD PHASE 1 RE-ROOFING	File Ref. 18-517
	Drawing Title SITE PLANS	Dwg. No. 101
	City Development City Architects Division	Drawn [redacted] Checked [redacted] Scale NOTED@A2 Date AUG 2018 Rev.
Dundee House, 50 North Lindsay Street, Dundee, DD1 1LS Tel: 01382 434000		

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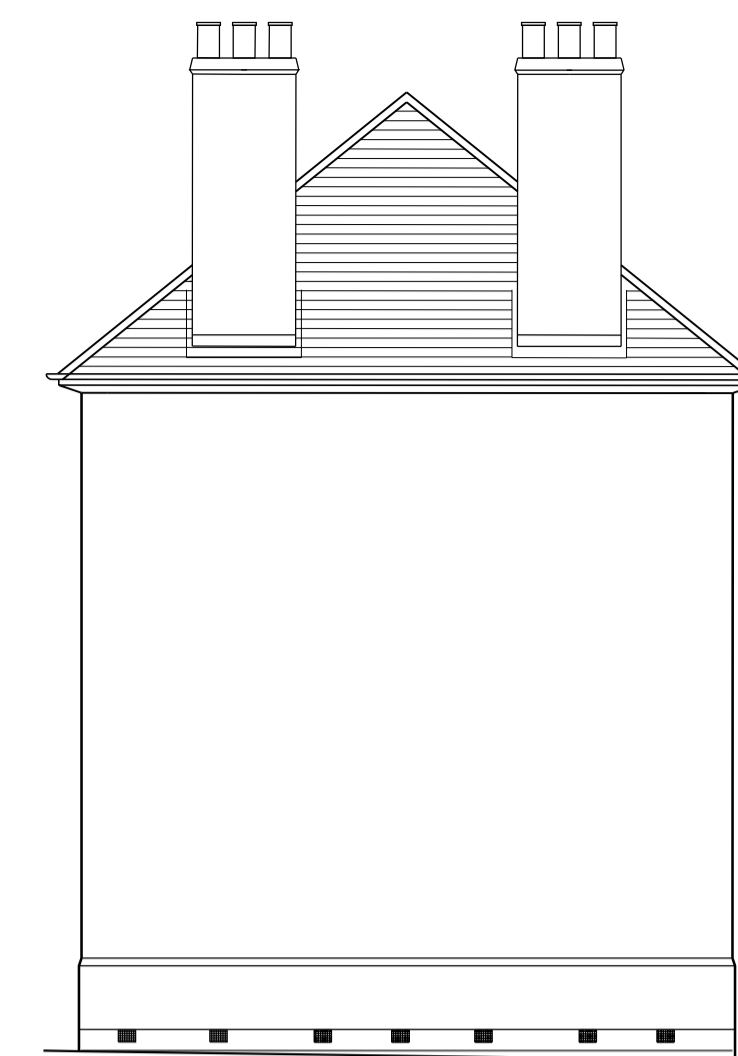
BUILDING TYPE A
218 & 220 CLEPINGTON ROAD



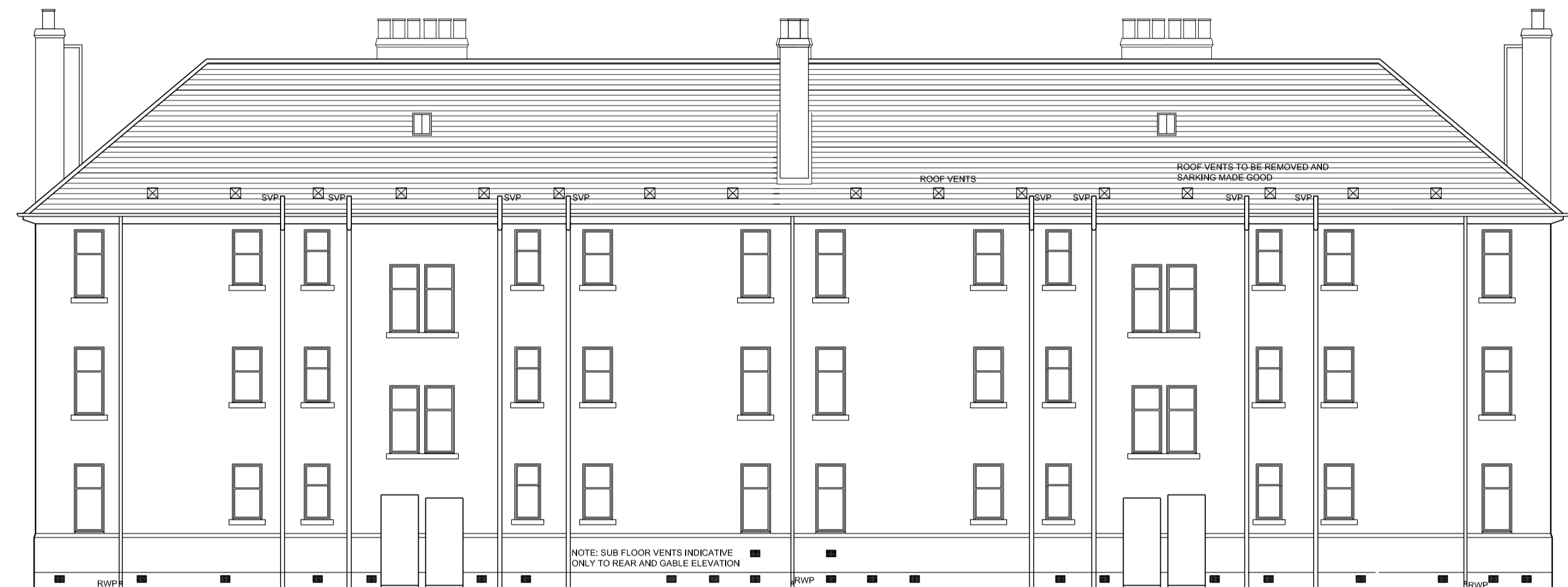
EAST ELEVATION



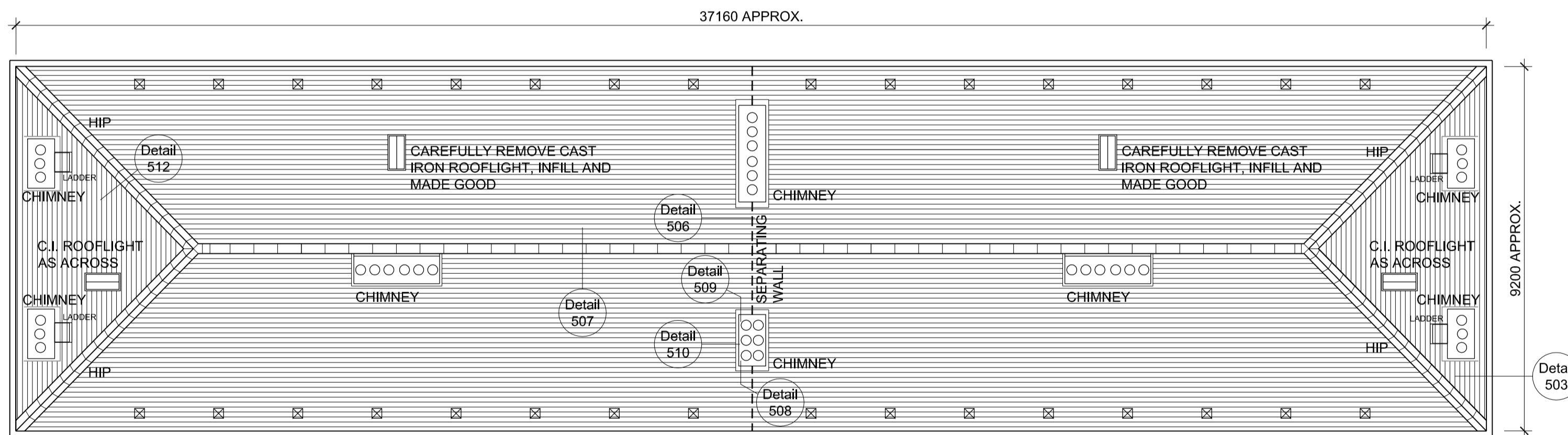
NORTH ELEVATION



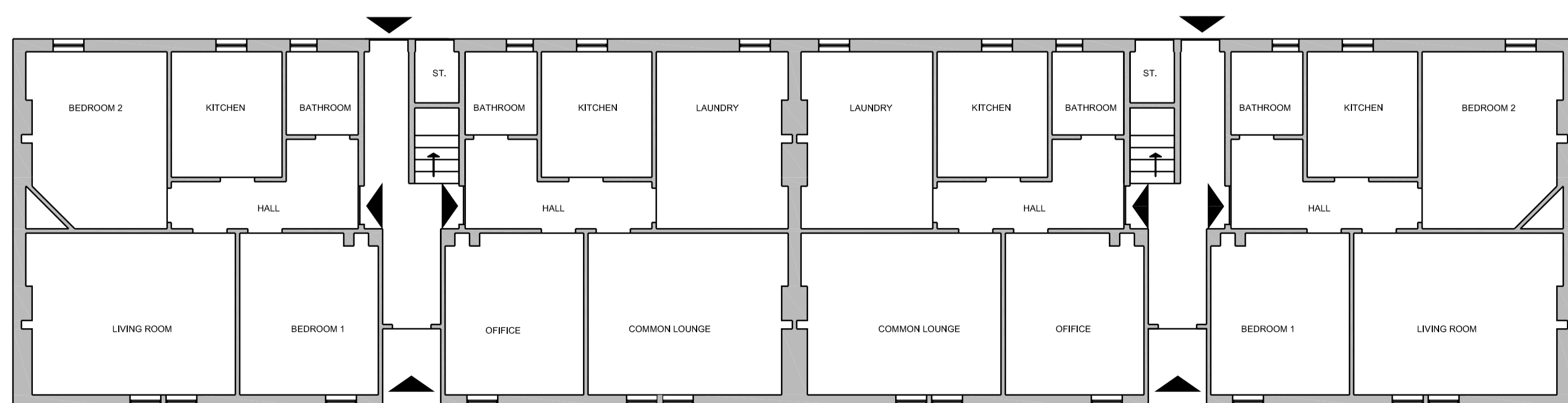
WEST ELEVATION



SOUTH ELEVATION



ROOF PLAN



GROUND FLOOR PLAN (TYPICAL)

NOTES

- New Roof Tiles**
Russell 'Galloway' interlocking tiles
Colour: Slate Grey
Specification: Fully in accordance with manufacturers recommendations.
- Ridge**
Ventilated dry ridge system with 'Modern' ridge tiles.
Colour: To match roof tile
Specification: Mechanically fixed with rigid sarking cut back underlay-undertiling felt and sarking boards for unobstructed roof ventilation (min. 5mm gap for roof ventilation). Fully in accordance with manufacturers recommendations.
Detail: See dwg. no. 18-517/507 for details.
- Cloak Verge**
Dry verge tile
Colour: To match roof tile
Specification: Fully in accordance with manufacturers recommendations.
Detail: See dwg. no. 18-517/503 for details.
- Eaves**
Specification: Fully in accordance with manufacturers recommendations.
Detail: See dwg. no. 18-517/502 for details.
- Existing Expansion Pipes**
Fit tile colour and profile to match roof tile and extend expansion pipes to suit.
- Gable Fascia and Soffit**
Dry verge tile and new cellular PVC Fascia and ventilated soffit board.
Colour: White
Specification: Fully in accordance with manufacturers recommendations.
Detail: See dwg. no. 18-517/502 for details.
- Chimney - Demolition**
Carefully take down unused existing redundant chimney. Removal to be advised by Client/Architect.
Detail: See dwg. no. 18-517/504 for details.
- Existing Chimney Condition**
Examine existing chimneys and report defects. Carry out hammer test to existing render. Rebuild defective chimney where required.
New render on s.s. lath/mesh.
Carefully remove defective lead flashings
Repair or replace defective copes.
Repoint existing terminals - cans.
Replace defective terminals - cans.
Details: See dwg. no. 18-517/508, 509 & 510 for details.
- Chimney Flashings**
All flashings to be in conjunction with the Lead Sheet Manual.
Details: See dwg. no. 18-517/508, 509 & 510 for details.
- Cast Iron Rooflight**
Carefully remove cast iron rooflight and infill and make good accordingly. Utilise treated timber dwangs and treated sarking. Dwangs as infill to be 100x50mm treated timber.
- Eaves Protection System**
Ubbink Eaves protection system fitted adjacent to gutter
UPVC Colour: Black
Specification: Fully in accordance with manufacturers recommendations, see Ubbink technical details.
Detail: See dwg. no. 18-517/502 for details.
- Existing Rain Water Gutter**
Carefully Remove Existing Rain Water Gutters. Down pipes to be retained.
- Rainwater Goods**
Deepflow UPVC Rainwater Gutter
New Gutter Connected to Existing R.W.P.
Colour: Black
Remove all debris and Clean Gutters and Test for Leaks on Completion of Work
- Soil and Vent Pipe and Waste Pipe**
Soil Stack Terminal offset to be retained (already amended as part of EVI project).
See dwg. no. 18-517/505 for details.
- New Underlay**
New underlay - undertiling felt.
Reinforced felt type 5U to BS 747, min. horizontal lap 100mm min., vertical Lap 150mm Min.
Fully in accordance with manufacturers recommendations.
- Counter Battens**
Size: 38x25mm treated timber counter batten.
Counter batten centres to match existing rafter or truss centres where possible.
- Tile Battens**
Size: 50x25mm JB Red treated tile battens.
- Tiling**
(Headlap min. 75mm) in accordance with manufacturers recommendations. Pitch and overlap to be checked on site.
- Fixing**
All tiles fixed with tile clip and nail in accordance with manufacturers recommendations.
- Existing Sarking - Fragile Roof Material**
Existing timber sarking to be retained where still in good condition. Note: Sarking to be investigated on site and agreed with Architect and Clerk of Works.
- TV Aerials/Satellite Dishes**
Aerials and satellite dishes are to be temporarily removed and fixed to the scaffold by a reputable aerial contractor. Residents must be consulted during this operation to ensure that good reception is retained at all times. At the completion of the contract when aerials/satellite dishes are put back the residents should again be consulted to ensure good reception before the scaffolding is dropped.
- Existing Fascia and Soffit**
Retain existing concrete fascia/soffit.
- Existing Rafters**
Check existing rafter centres. Note: Structural Engineer to check rafters/truss on site due to additional load from roof tiles.
- Roof Pitch**
Check existing roof pitch.
- Timber purchasing ISO 14001**
All timber must be obtained from fully verifiable Forest Stewardship Council FSC or Pan European Forest Certification PEFC.
- Waste Management**
The Contractor must adopt a waste management system. Waste Management to be carried out on or off site. The Contractor must confirm in writing the type of waste management system used
- Chimney - Gas Flue and Terminal**
Check existing gas terminals and report findings. Refix loose terminals or replace defective terminals.
- Existing Gas Appliance**
Check existing appliance and carry out safety check where required.
All in accordance with Current Gas Regulations and Landlords Safety Records.
- Downtakings**
Strip off existing roof tiles, tile battens and undertiling felt. Carefully remove any damaged existing sarking boards.
- Chimney Demolition to BS 6187 (if required)**
Carefully take down existing redundant chimney, copes, terminals and lead flashings.
Contractor to submit work method statement for approval prior to commencing demolition work. Method statement to be submitted and agreed.
- Asbestos Based Materials**
Sample panel to be taken for analysis. Copy of the Analysis Report must be sent to the CASO. The safe removal and disposal must be carried out by an Approved Licensed Contractor. Method Statement will be required for approval prior to commencing work.
- Existing Cold Water Storage Tank**
Check existing cold water storage tank in roof space and report findings/defects.
Extend overflow pipe from cold water storage tank. System to be checked on site by Contractor.
- Existing Windows, Cills Frames and Glass**
When scaffold is removed clean down and wash all windows, cills, frames and glass on completion.

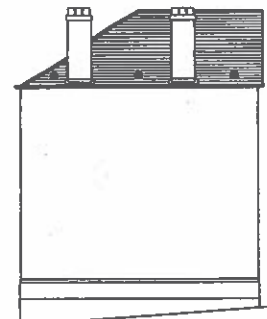
NOTE:
DRAWINGS ARE INDICATIVE ONLY,
BASED ON ORIGINAL TYPICAL TYPE
DETAILS.
ALL DIMENSIONS TO BE CHECKED ON
SITE.

- A INFORMATION AND DETAILS ADDED. DRAWING RENUMBERED WAS 102. 19.11.18
- B SPECIFICATION UPDATED. 1.01.19
- C TILES, VERGE TILE, DOWNPIPES, SARKING, TILE LAPS, FASCIA/SOFFT AMENDED. NOTE ADDED CONFIRMING STRUCTURAL ENGINEER TO CHECK TRUSSES. STATUS AMENDED. 2.06.19

Revision	Project Title	Checked/Date
	CLEPINGTON ROAD PHASE 1 ROOF RENEWAL	18-517
	EXISTING HOUSE TYPE A	200
	Date	APRIL 2018
	Rev.	C

Dundee House, 50 North Lindsay Street, Dundee, DD1 1LS
Tel: 01382 434000

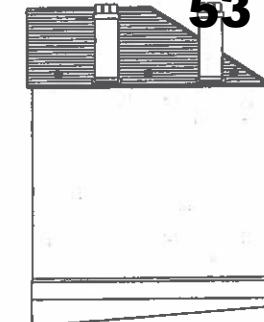
CONTRACT



EAST ELEVATION



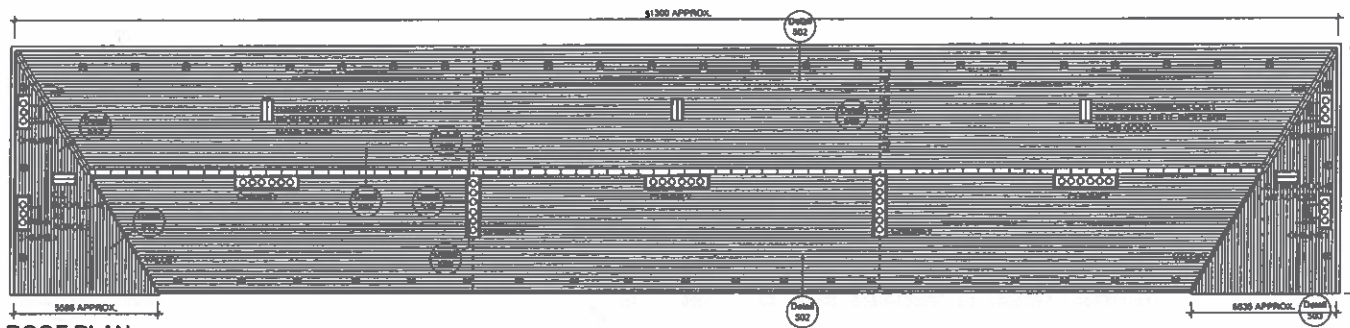
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



ROOF PLAN



GROUND FLOOR PLAN (TYPICAL)

NOTE:
DRAWINGS ARE INDICATIVE ONLY BASED
ON ORIGINAL TYPICAL TYPE DETAILS.
ALL DIMENSIONS TO BE CHECKED ON
SITE.

SEE DRAWING No. 18-517/200 FOR
SPECIFICATION.

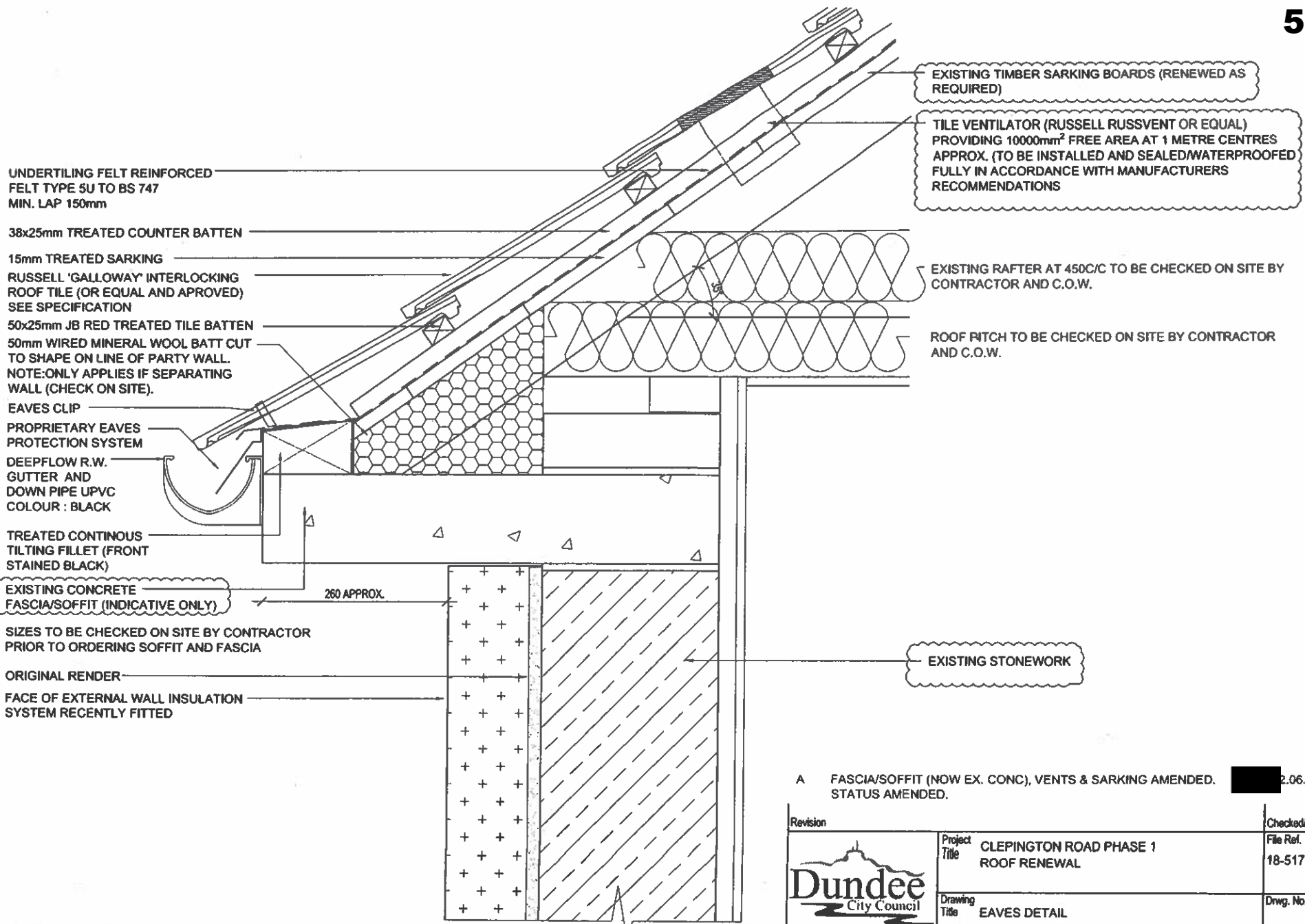
BUILDING TYPE B & D
212, 214 & 216 CLEPINGTON ROAD

- A 26.11.18 INFORMATION AND DETAILS ADDED. DRAWING RENAMBERED (WAS 182).
- B 25.07.19 STATUS AMENDED.

CONTRACT

<p>Dundee City Council</p>	Project No.	CLEPINGTON ROAD PHASE 1 ROOF RENEWAL	Client Ref.	18-417
	Client	EXISTING HOUSE TYPE B & D	Drawn By	201
City Development City Architect Division	Checked	Date	Scale	1:100@A1
			Issue	AUG 2018
Dundee House, 50 North Lindsay Street, Dundee, DD1 1RS Tel: 01382 434000				

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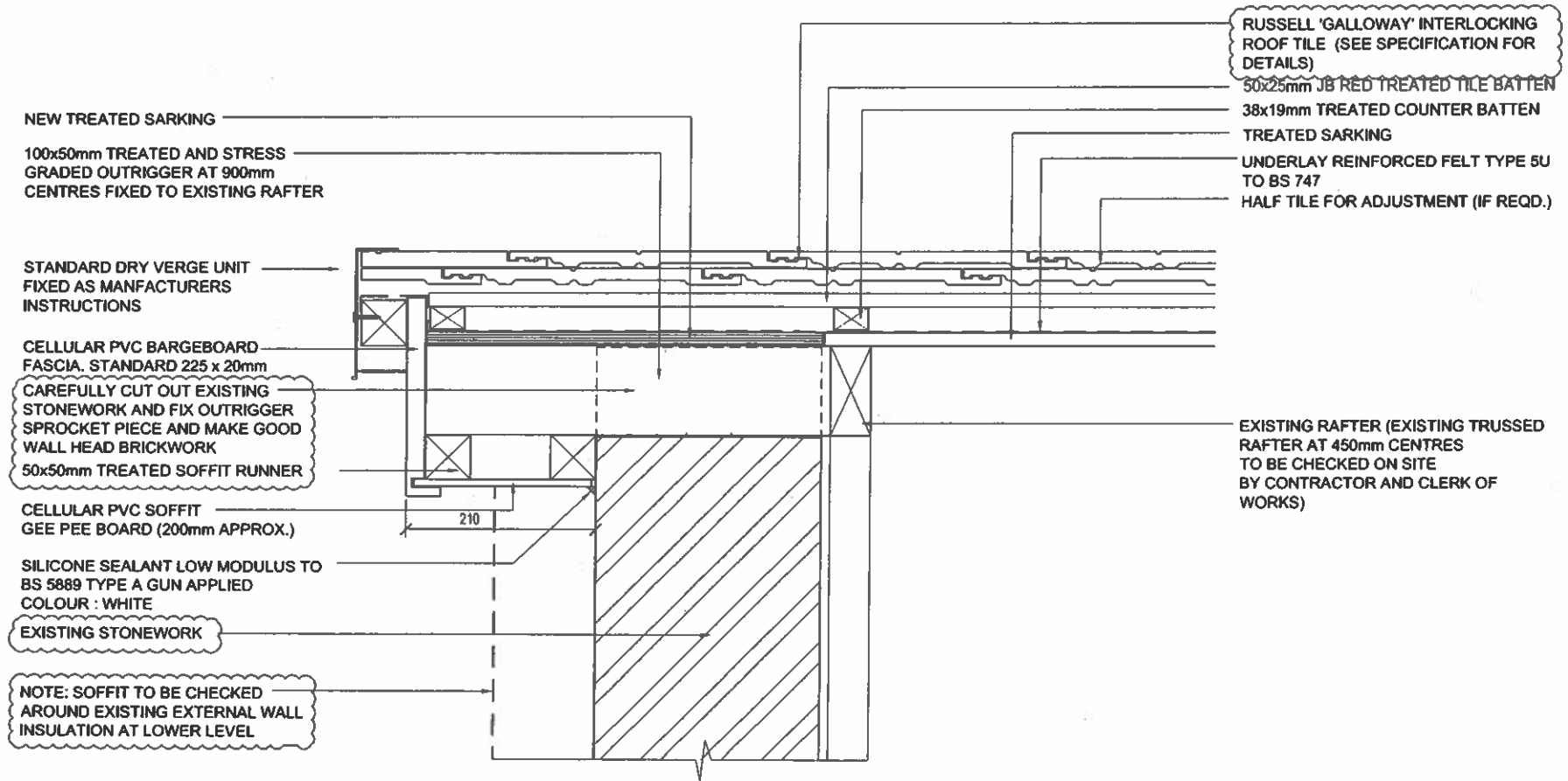


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A FASCIA/SOFFIT (NOW EX. CONC), VENTS & SARKING AMENDED. STATUS AMENDED. 2.06.19

Revision	Project Title	Checked/Date
	CLEPINGTON ROAD PHASE 1 ROOF RENEWAL	File Ref. 18-517
	Drawing Title EAVES DETAIL	Drwg. No. 502
	City Development City Architects Division	Rev. 30.01.19
	Drawn	Checked
	Scale 1:5@A3	Date A
Dundee House, 50 North Lindsay Street, Dundee, DD1 1LS Tel: 01382 434000		



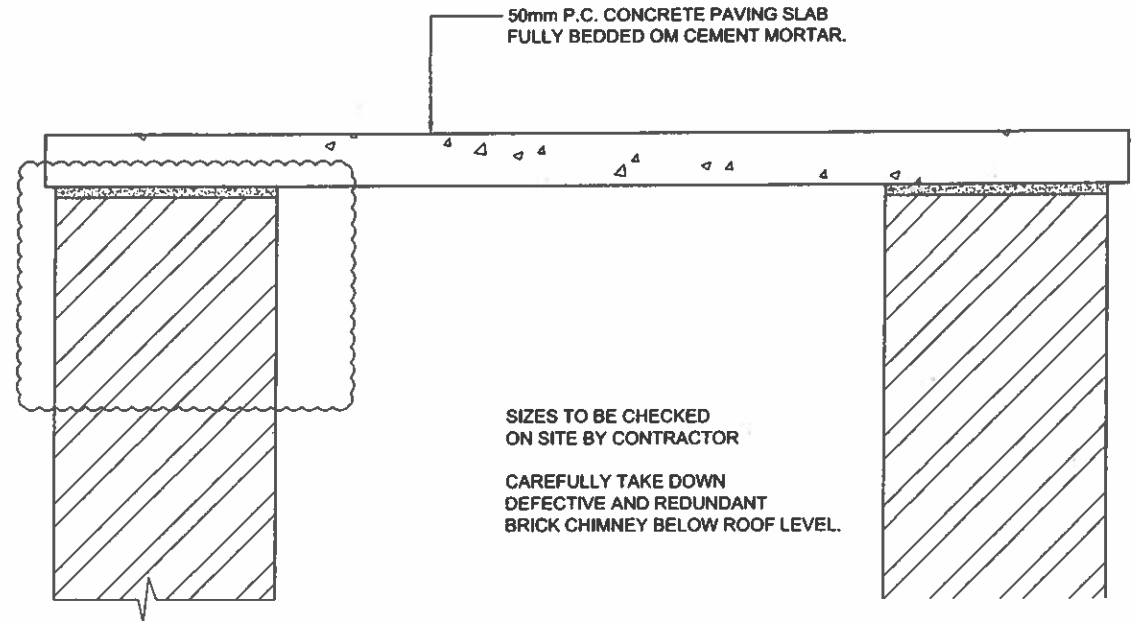
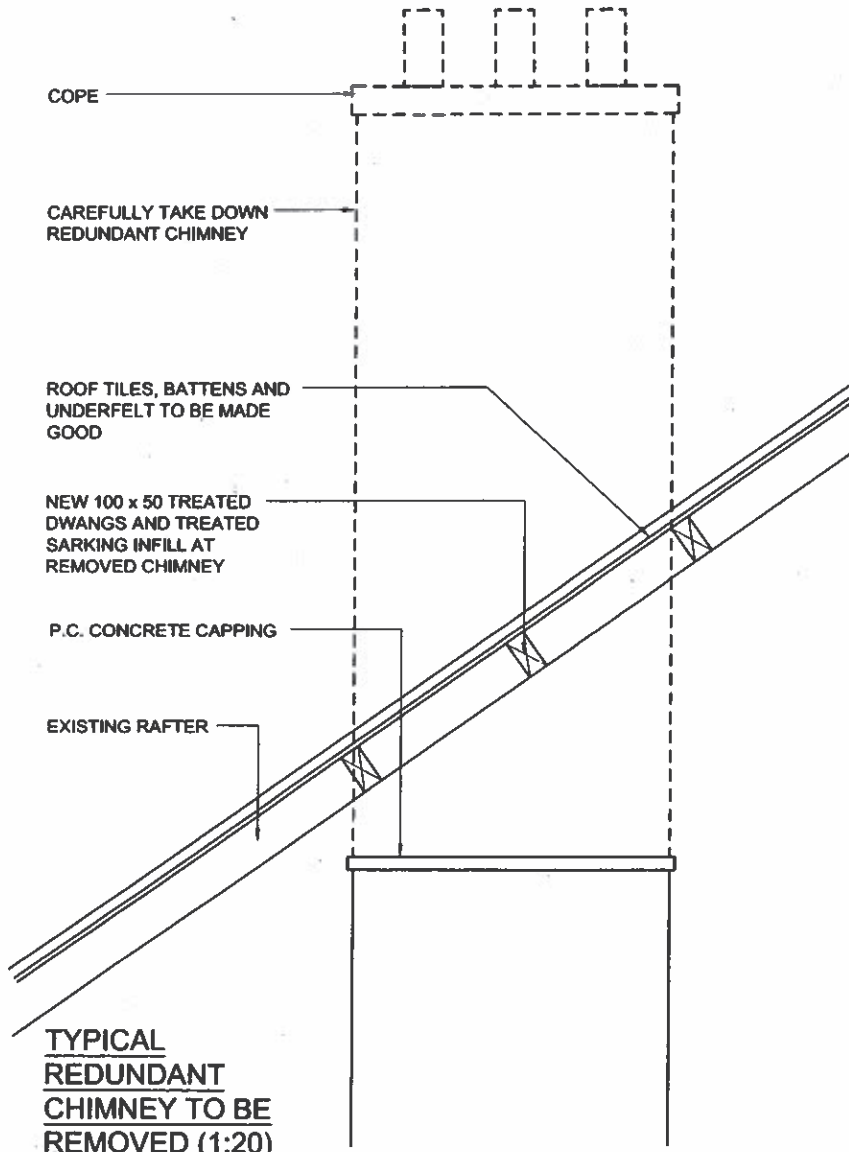
NOTE: SOFFIT TO BE CHECKED AROUND EXISTING EXTERNAL WALL INSULATION AT LOWER LEVEL

A EXT. WALL INSULATION INDICATED. TILES, EXT. WALL (CAVITY CLOSER NOT REQUIRED) AND STATUS AMENDED. 2.06.19

Revision		Checked/Date	
 City Development City Architects Division		Project Title	CLEPINGTON ROAD PHASE 1 ROOF RENEWAL
		File Ref.	18-517
Drawing Title		Drwg. No.	
VERGE DETAIL		503	
Drawn	Checked	Scale	Date
		1:5@A3	A
		Rev.	30.01.19
Dundee House, 50 North Lindsay Street, Dundee, DD1 1LS Tel: 01382 434000			


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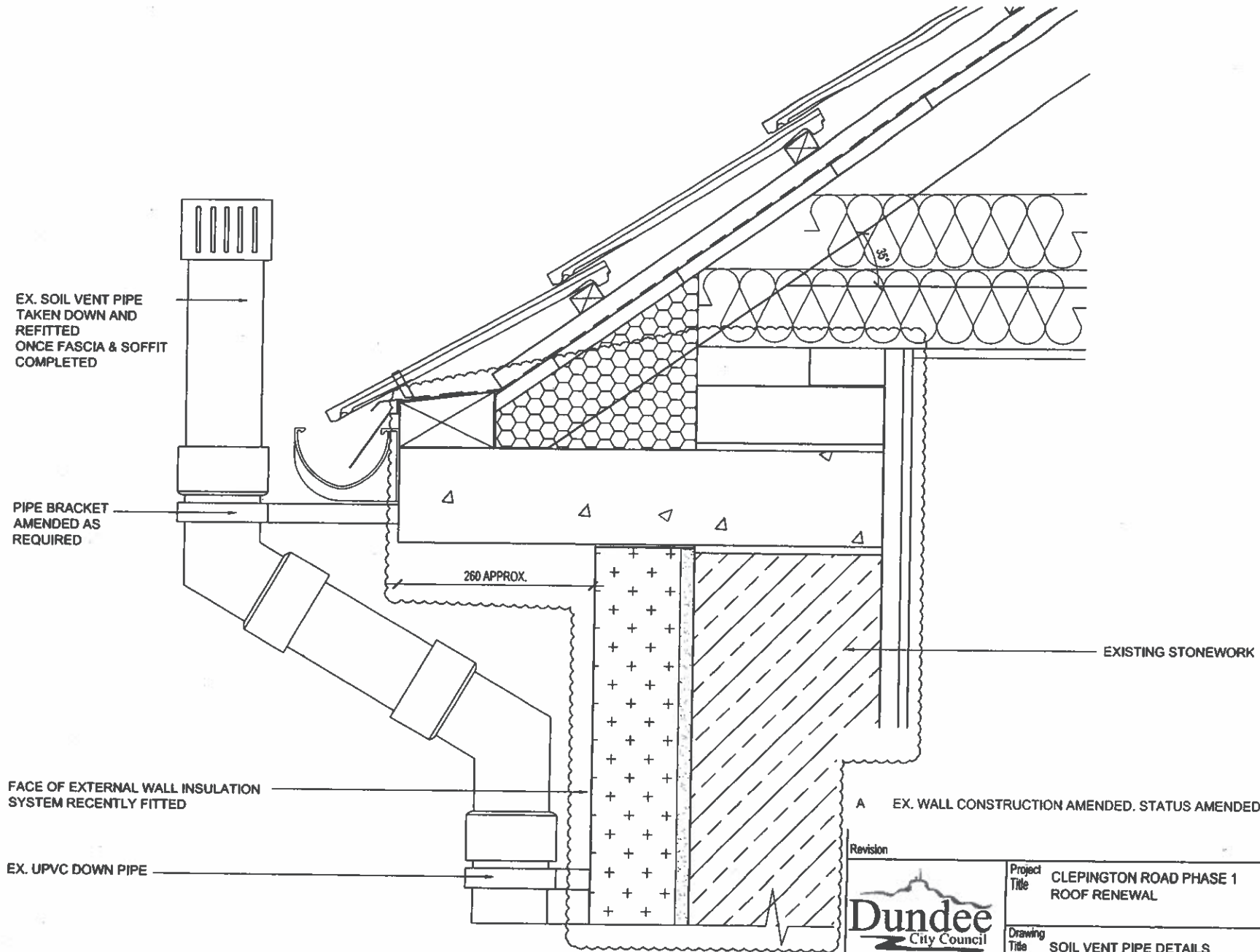
CHIMNEY CAPPING DETAIL (1:5)

A CAPPING VENT DELETED. STATUS AMENDED. 2.06.19

Revision		Checked/Date		
 City Development City Architects Division		Project Title CLEPINGTON ROAD PHASE 1 ROOF RENEWAL		File Ref. 18-517
		Drawing Title CHIMNEY CAPPING DETAIL		Drwg. No. 504
Drawn	Checked	Scale	Date	Rev.
		1:5/20@A3	A	30.01.19
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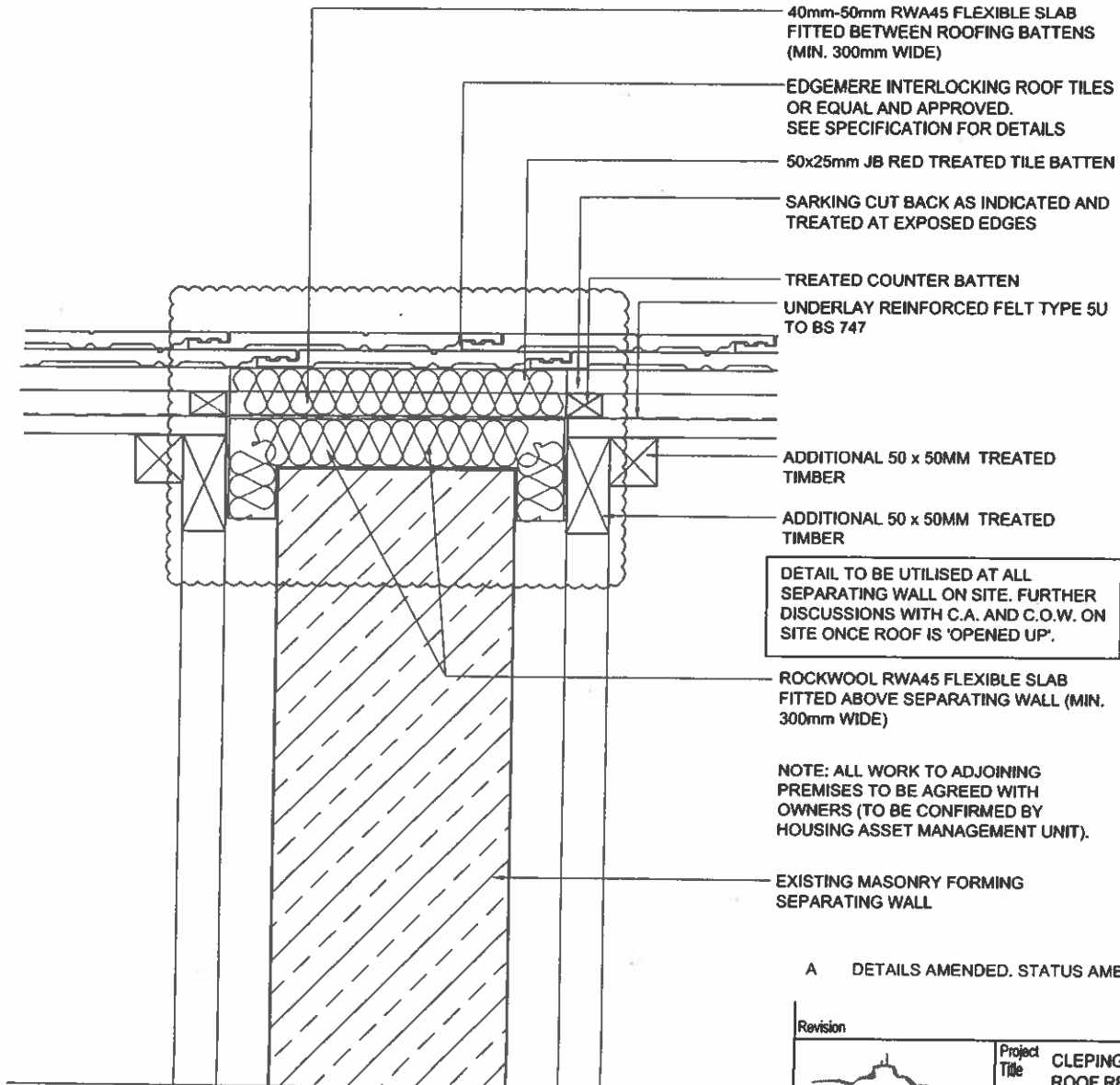


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Revision A EX. WALL CONSTRUCTION AMENDED. STATUS AMENDED. 2.06.19

Revision		Checked/Date	
 Dundee City Council City Development City Architects Division		Project Title CLEPINGTON ROAD PHASE 1 ROOF RENEWAL	File Ref. 18-517
		Drawing Title SOIL VENT PIPE DETAILS	Drwg. No. 505
Drawn [Redacted]	Checked [Redacted]	Scale 1:5@A3	Date A
Dundee House, 50 North Lindsay Street, Dundee, DD1 1LS Tel: 01382 434000		Rev. 30.01.19	



40mm-50mm RWA45 FLEXIBLE SLAB
FITTED BETWEEN ROOFING BATTENS
(MIN. 300mm WIDE)

EDGEMERE INTERLOCKING ROOF TILES
OR EQUAL AND APPROVED.
SEE SPECIFICATION FOR DETAILS

50x25mm JB RED TREATED TILE BATTEN

SARKING CUT BACK AS INDICATED AND
TREATED AT EXPOSED EDGES

TREATED COUNTER BATTEN
UNDERLAY REINFORCED FELT TYPE 5U
TO BS 747

ADDITIONAL 50 x 50MM TREATED
TIMBER

ADDITIONAL 50 x 50MM TREATED
TIMBER

DETAIL TO BE UTILISED AT ALL
SEPARATING WALL ON SITE. FURTHER
DISCUSSIONS WITH C.A. AND C.O.W. ON
SITE ONCE ROOF IS 'OPENED UP'.

ROCKWOOL RWA45 FLEXIBLE SLAB
FITTED ABOVE SEPARATING WALL (MIN.
300mm WIDE)

NOTE: ALL WORK TO ADJOINING
PREMISES TO BE AGREED WITH
OWNERS (TO BE CONFIRMED BY
HOUSING ASSET MANAGEMENT UNIT).


EXISTING MASONRY FORMING
SEPARATING WALL

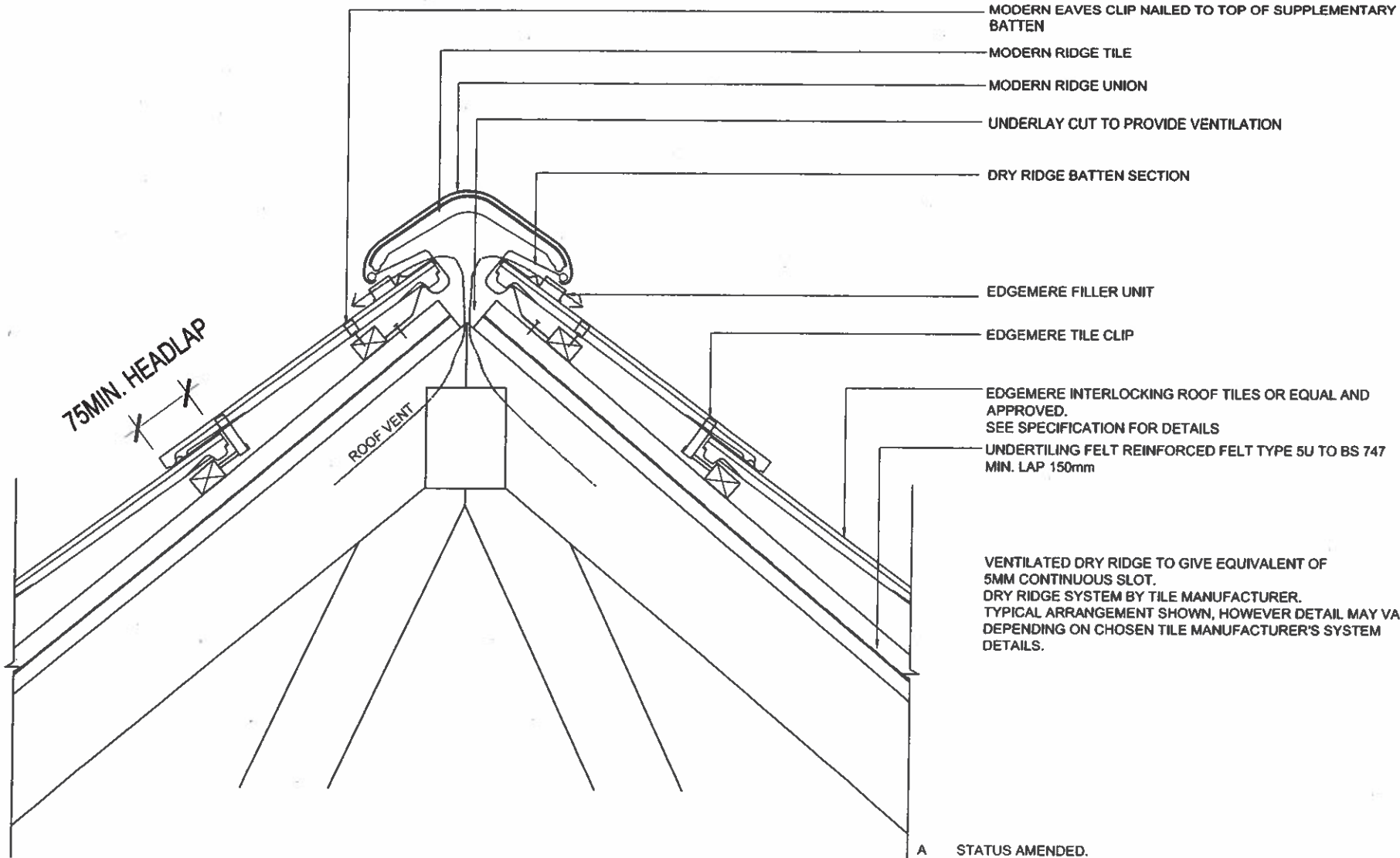
A DETAILS AMENDED. STATUS AMENDED.

25.07.19

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Revision		Checked/Date	
 City Development City Architects Division	Project Title	CLEPINGTON ROAD PHASE 1 ROOF RENEWAL	
	Drawing Title	SEPARATING WALL/ROOF JUNCTION	
File Ref.	18-517	Drwg. No.	506
Drawn	Checked	Scale	Date
		1:5@A3	A
Dundee House, 50 North Lindsay Street, Dundee, DD1 1LS Tel: 01382 434000		Rev.	30.01.19




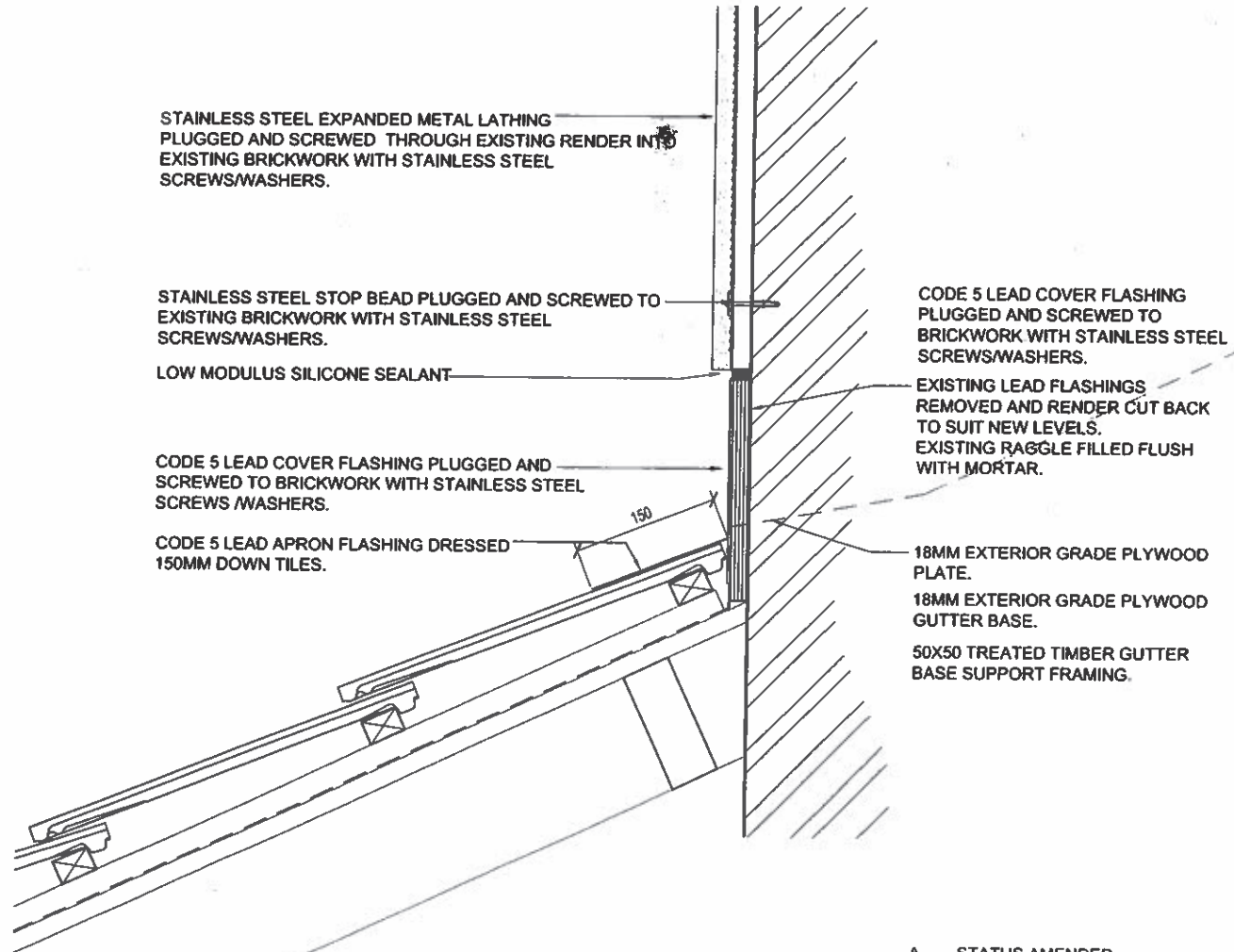
A STATUS AMENDED.

2.06.19

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Revision		Checked/Date		
 City Development City Architects Division	Project Title	CLEPINGTON ROAD PHASE 1 ROOF RENEWAL		File Ref. 18-517
	Drawing Title	RIDGE DETAILS		Drwg. No. 507
Drawn	Checked	Scale	Date	Rev.
		1:5@A3	A	30.01.19
Dundee House, 50 North Lindsay Street, Dundee, DD1 1LS Tel: 01382 434000				



STAINLESS STEEL EXPANDED METAL LATHING PLUGGED AND SCREWED THROUGH EXISTING RENDER INTO EXISTING BRICKWORK WITH STAINLESS STEEL SCREWS/WASHERS.

STAINLESS STEEL STOP BEAD PLUGGED AND SCREWED TO EXISTING BRICKWORK WITH STAINLESS STEEL SCREWS/WASHERS.

LOW MODULUS SILICONE SEALANT

CODE 5 LEAD COVER FLASHING PLUGGED AND SCREWED TO BRICKWORK WITH STAINLESS STEEL SCREWS/WASHERS.

CODE 5 LEAD APRON FLASHING DRESSED 150MM DOWN TILES.

CODE 5 LEAD COVER FLASHING PLUGGED AND SCREWED TO BRICKWORK WITH STAINLESS STEEL SCREWS/WASHERS.

EXISTING LEAD FLASHINGS REMOVED AND RENDER CUT BACK TO SUIT NEW LEVELS. EXISTING RAGGLE FILLED FLUSH WITH MORTAR.

18MM EXTERIOR GRADE PLYWOOD PLATE.

18MM EXTERIOR GRADE PLYWOOD GUTTER BASE.

50X50 TREATED TIMBER GUTTER BASE SUPPORT FRAMING.


FRONT CHIMNEY FLASHING

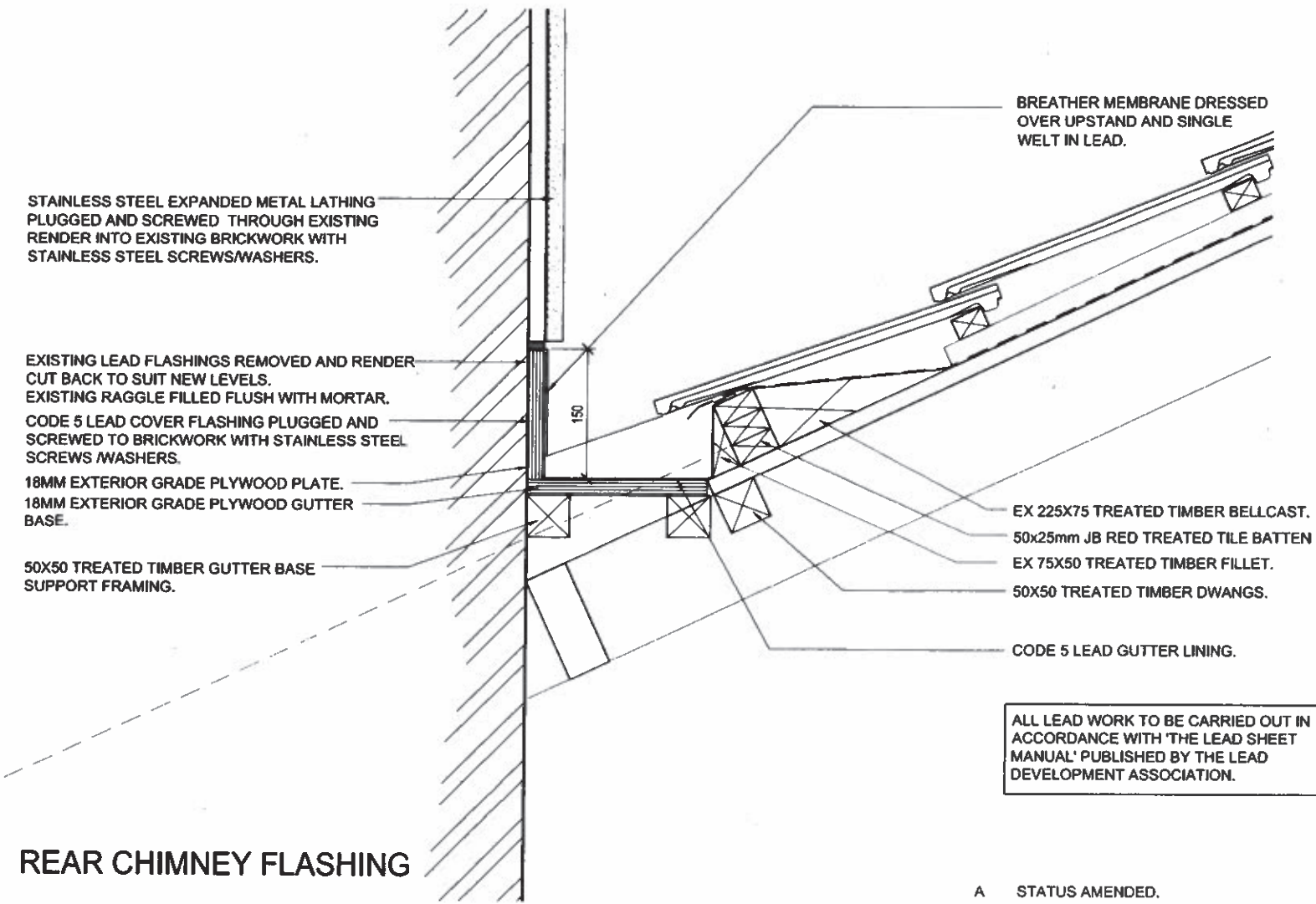
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CONTRACT

A STATUS AMENDED.

12.06.19

Revision					Checked/Date
 City Development City Architects Division	Project Title		CLEPINGTON ROAD PHASE 1 ROOF RENEWAL		File Ref. 18-517
	Drawing Title		FRONT CHIMNEY FLASHING DETAILS		Dwg. No. 508
	Drawn	Checked	Scale	Date	Rev.
		1:5@A3	A	30.01.19	
Dundee House, 50 North Lindsay Street, Dundee, DD1 1LS Tel: 01382 434000					



STAINLESS STEEL EXPANDED METAL LATHING PLUGGED AND SCREWED THROUGH EXISTING RENDER INTO EXISTING BRICKWORK WITH STAINLESS STEEL SCREWS/WASHERS.

EXISTING LEAD FLASHINGS REMOVED AND RENDER CUT BACK TO SUIT NEW LEVELS. EXISTING RAGGLE FILLED FLUSH WITH MORTAR. CODE 5 LEAD COVER FLASHING PLUGGED AND SCREWED TO BRICKWORK WITH STAINLESS STEEL SCREWS/WASHERS.

18MM EXTERIOR GRADE PLYWOOD PLATE. 18MM EXTERIOR GRADE PLYWOOD GUTTER BASE.

50X50 TREATED TIMBER GUTTER BASE SUPPORT FRAMING.

BREATHER MEMBRANE DRESSED OVER UPSTAND AND SINGLE WELT IN LEAD.

EX 225X75 TREATED TIMBER BELLCAST. 50x25mm JB RED TREATED TILE BATTEN. EX 75X50 TREATED TIMBER FILLET. 50X50 TREATED TIMBER DWANGS. CODE 5 LEAD GUTTER LINING.

ALL LEAD WORK TO BE CARRIED OUT IN ACCORDANCE WITH 'THE LEAD SHEET MANUAL' PUBLISHED BY THE LEAD DEVELOPMENT ASSOCIATION.


REAR CHIMNEY FLASHING

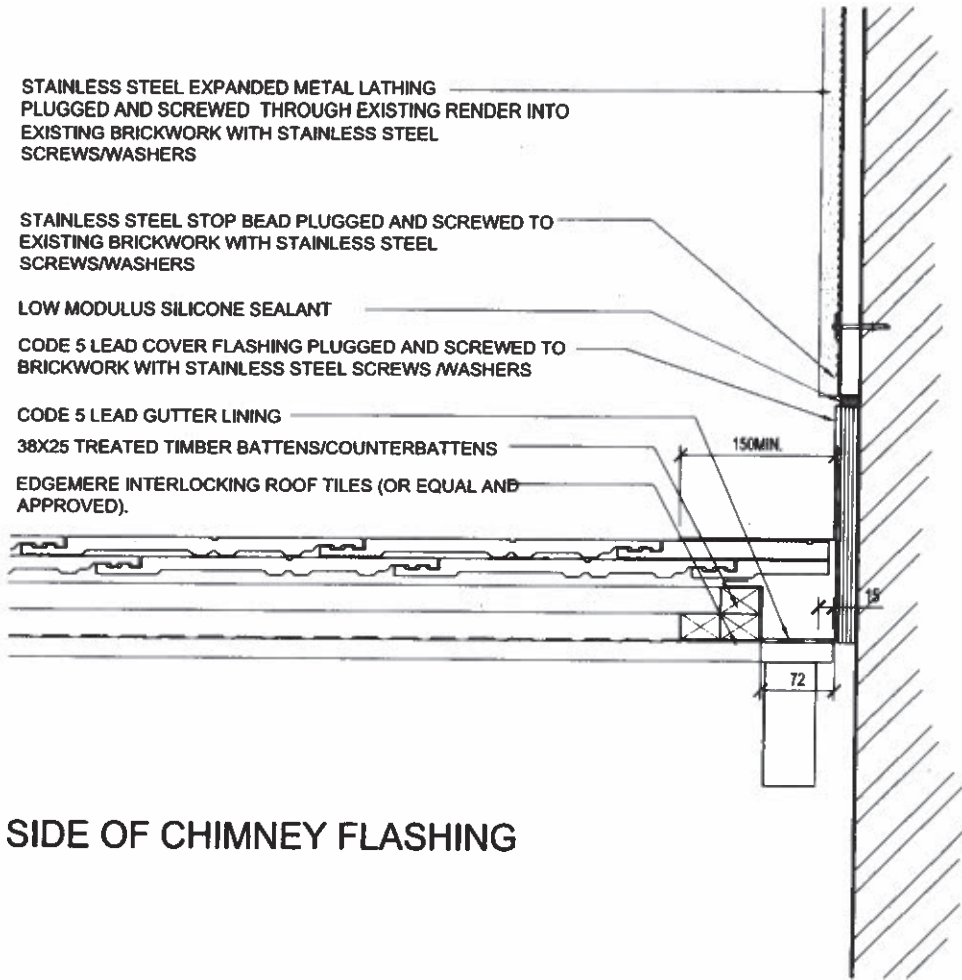
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12.06.19

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CONTRACT

Revision		Checked/Date	
 City Development City Architects Division	Project Title	CLEPINGTON ROAD PHASE 1 ROOF RENEWAL	File Ref. 18-517
	Drawing Title	REAR CHIMNEY FLASHING DETAILS	Drwg. No. 509
Drawn	Checked	Scale	Date
		1:5@A3	A
Dundee House, 50 North Lindsay Street, Dundee, DD1 1LS		Rev. 30.01.19	
Tel: 01382 434000			




SIDE OF CHIMNEY FLASHING

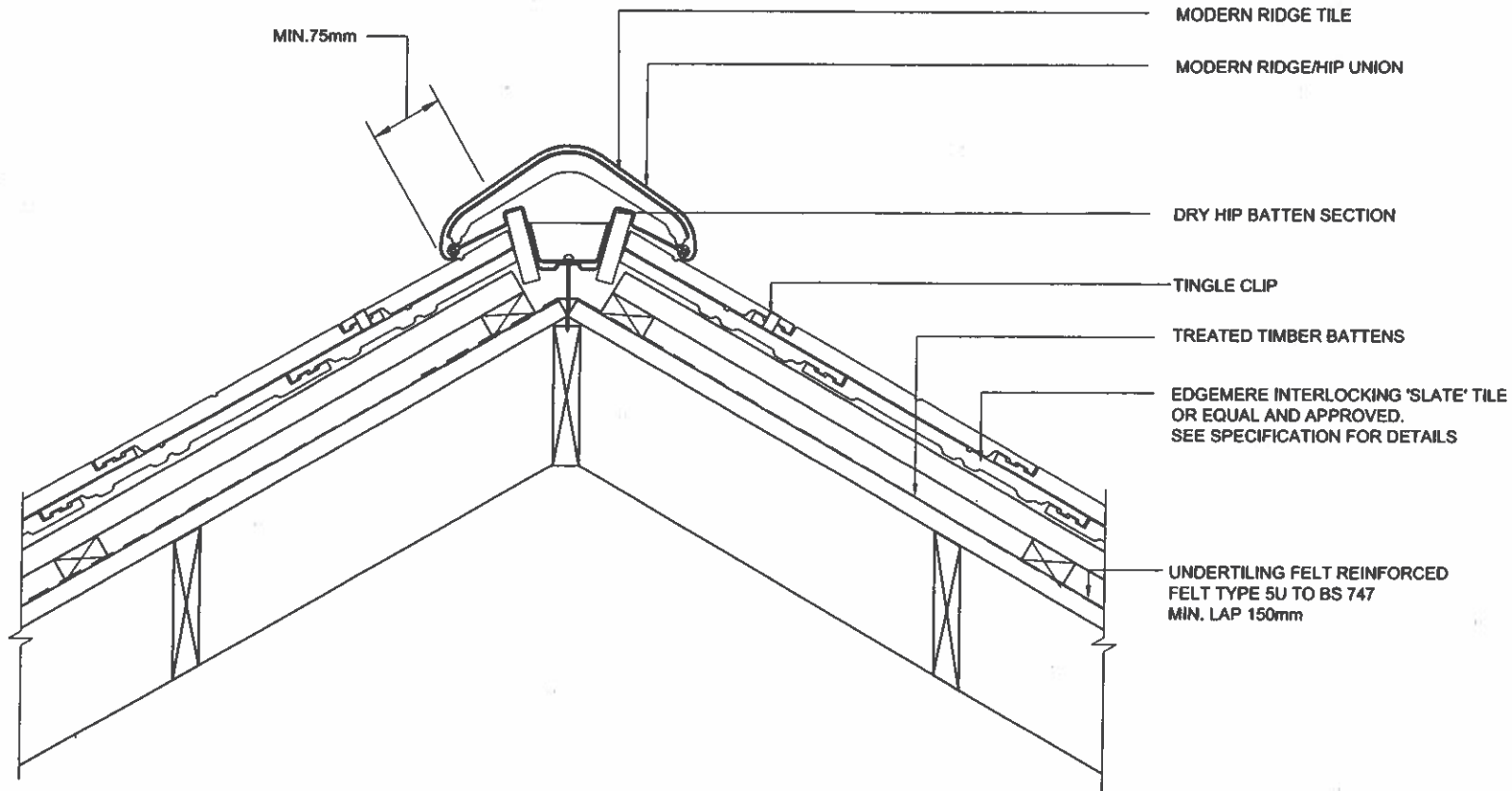
A STATUS AMENDED.

2.06.19

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CONTRACT

Revision		Checked/Date		
 City Development City Architects Division	Project Title	CLEPINGTON ROAD PHASE 1 ROOF RENEWAL		File Ref. 18-517
	Drawing Title	SIDE CHIMNEY FLASHING DETAILS		Drwg. No. 510
	Drawn / Checked	Scale	Date	Rev.
		1:5@A3	A	30.01.19
Dundee House, 50 North Lindsay Street, Dundee, DD1 1LS Tel: 01382 434000				




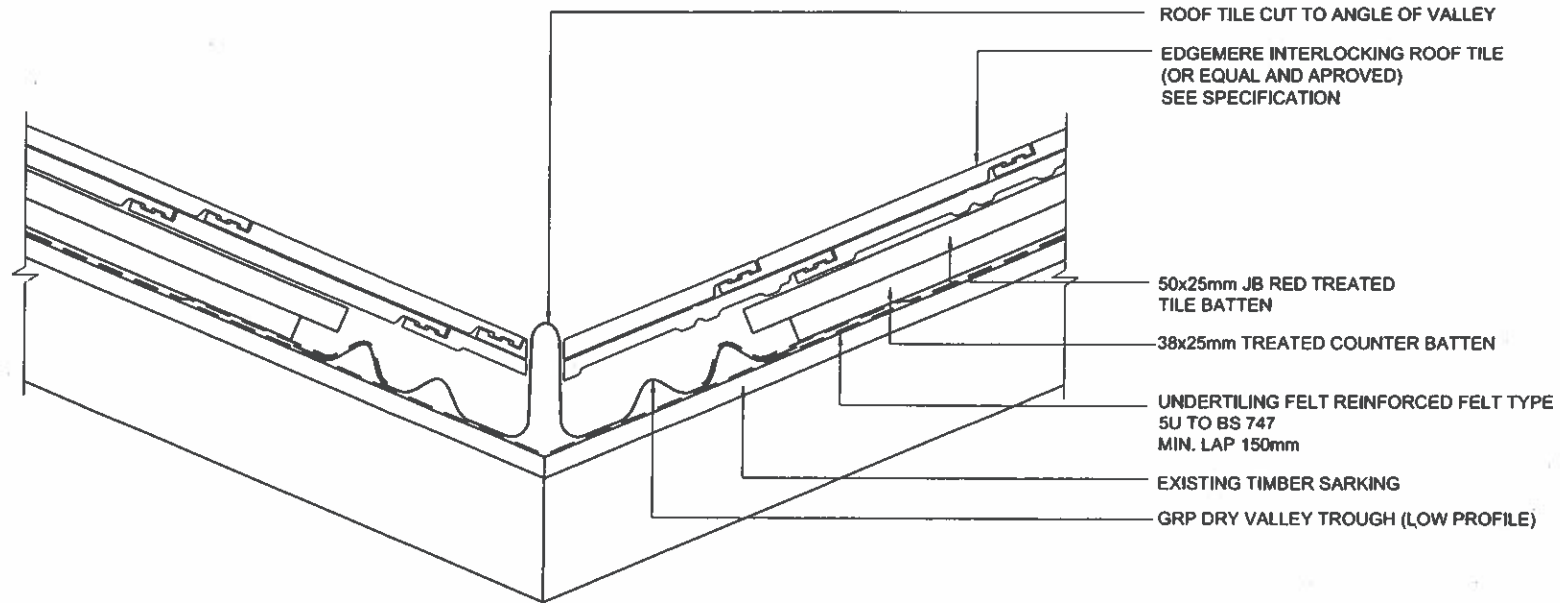
A STATUS AMENDED.

2.06.19

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CONTRACT

Revision		Checked/Date			
 City Development City Architects Division	Project Title	CLEPINGTON ROAD PHASE 1 ROOF RENEWAL		File Ref.	18-517
	Drawing Title	HIP DETAILS		Dwg. No.	512
	Drawn	Checked	Scale	Date	Rev.
			1:5@A3	A	30.01.19
Dundee House, 50 North Lindsay Street, Dundee, DD1 1LS Tel: 01382 434000					



A STATUS AMENDED.

12.06.19

Revision				Checked/Date
 City Development City Architects Division	Project Title	CLEPINGTON ROAD PHASE 1 ROOF RENEWAL		File Ref. 18-517
	Drawing Title	VALLEY DETAILS		Drwg. No. 513
	Drawn	Checked	Scale	Date
			1:5@A3	A
Dundee House, 50 North Lindsay Street, Dundee, DD1 1LS Tel: 01382 434000				
				Rev. 30.01.19

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APPENDIX 3

Complaints Regarding Clepington Road Phase 1 – Page 67

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From: [REDACTED]

Sent: 02 December 2021 18:01

To: [REDACTED]

Subject: RE: Sorry about that just to say have a few concerns from the older residents about tiles sitting on the roof in back green ready to slip down can you please Corden of the areas affected with some tape just so they can stay clear of that zone walking ther

Thank you.

I as noted earlier I will come along tomorrow to see for myself.

Regards

[REDACTED]
Acting Head of Construction
Neighbourhood Services
Dundee City Council

e [REDACTED]
m [REDACTED]

From: [REDACTED]

Sent: 02 December 2021 17:58

To: [REDACTED] [dundeecity.gov.uk](mailto:[REDACTED]@dundeecity.gov.uk)>

Subject: Re: Sorry about that just to say have a few concerns from the older residents about tiles sitting on the roof in back green ready to slip down can you please Corden of the areas affected with some tape just so they can stay clear of that zone walking ther

I have contacted the papers and my Mp and forward your email to both of them .to be honest if this is not a priority then god knows . have you seen the way the tiles are sitting on the south side there ready to slip down at any time . this has been like this for a week tomorrow and done .when you see them think you Will agree with me .at least Corden it of first thing in the morning .then people Will know not to go in that zone .do yer self a favour don't throw yer under the bus on this one .I cleared up the broken tiles and the big concrete ridge tiles . Old people are worried as its not the first this has happened .4 came flying off in February 2020 .and 3 Landed on the pavement and one in the gutter . Cheers .

On Thu, 2 Dec 2021, 17:41 [REDACTED] wrote:

Thank you for your reply.

I am very much aware and share all health and safety concerns but you will appreciate that a scaffold access is required to get to the roof. I have to be equally attentive to the health and safety of my repair team.

We will attend to all affected locations as quickly as possible.

Regards

[REDACTED]
Acting Head of Construction
Neighbourhood Services
Dundee City Council

e : [REDACTED]
m [REDACTED]

From: [REDACTED]

Sent: 02 December 2021 17:18

To: [REDACTED] <[REDACTED]@dundeecity.gov.uk>

Subject: Re: Sorry about that just to say have a few concerns from the older residents about tiles sitting on the roof in back green ready to slip down can you please Corden of the areas affected with some tape just so they can stay clear of that zone walking ther

Its not a priority tiles are sitting on the roof . people are concerned that they slip off in to the back green .I know it's not your fault but tiles flying of the roof and landing in gardens .im sorry but I'll going to contact my Mp and the papers . this totally unexceable .if the job was done right in the first place .we would not have this situation . does someone have to get killed before its priority

On Thu, 2 Dec 2021, 16:46 [REDACTED] wrote:

[REDACTED]
As I have not been able to fully read your message I would respond as follows meantime.

I have a very limited resource who are presently assessing the numerous locations city-wide that have experienced similar storm damage issues.

Whilst I appreciate your concerns my team's initial comment is that your block is not a priority risk when compared to some others.

That said I will look to send a long a small team as quickly as possible to review and look at requirements/implications for cordoning off and removing any grounded tiles.

You will appreciate that the height of the block will require scaffold access to remove any remaining debris.

I will try to get along tomorrow at some point to see for myself.

Regards

[REDACTED]
Acting Head of Construction
Neighbourhood Services
Dundee City Council

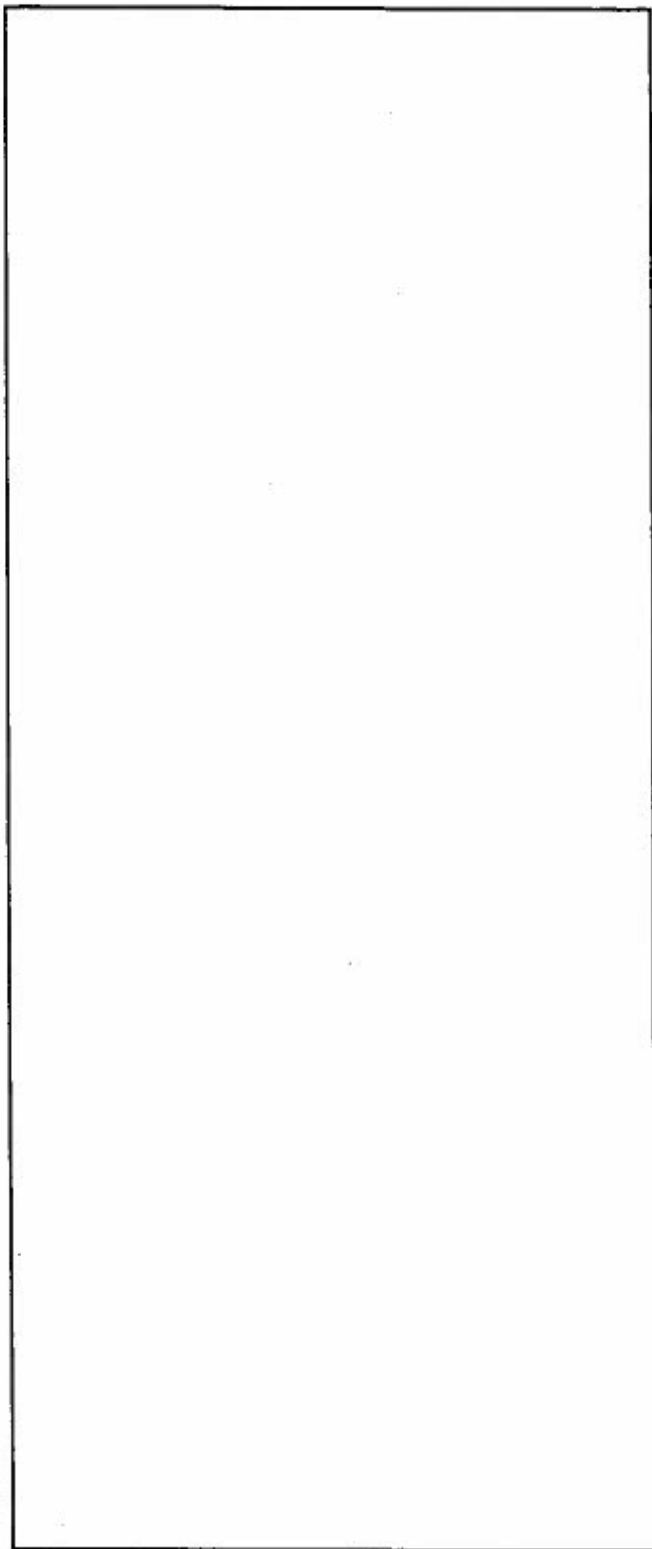
e : [REDACTED]
m [REDACTED]

From [REDACTED]

Sent: 02 December 2021 16:22

To: [REDACTED] [dundeecity.gov.uk](mailto:[REDACTED]@dundeecity.gov.uk)>

Subject: Sorry about that just to say have a few concerns from the older residents about tiles sitting on the roof in back green ready to slip down can you please Corden of the areas affected with some tape just so they can stay clear of that zone walking there...



From: [REDACTED]
Sent: 03 December 2021 13:41
To: [REDACTED]
Subject: RE: Sorry about that just to say have a few concerns from the older residents about tiles sitting on the roof in back green ready to slip down can you please Corden of the areas affected with some tape just so they can stay clear of that zone walking ther

[REDACTED]

Thank you. We already have those tiles logged on the system.

I am also pleased that the guys have been able to cordon off the area so quickly.

Regards

[REDACTED]
Acting Head of Construction
Neighbourhood Services
Dundee City Council

e : [REDACTED]
m [REDACTED]

From: [REDACTED]
Sent: 03 December 2021 13:38
To: [REDACTED] <[REDACTED]@dundeecity.gov.uk>
Subject: Re: Sorry about that just to say have a few concerns from the older residents about tiles sitting on the roof in back green ready to slip down can you please Corden of the areas affected with some tape just so they can stay clear of that zone walking ther

Rob there are tiles missing at the back of the chimneys on 218 facing West road side .its all Cordened now
cheers your only covering your self by doing it .

On Thu, 2 Dec 2021, 16:46 [REDACTED] wrote:

[REDACTED]

As I have not been able to fully read your message I would respond as follows meantime.

I have a very limited resource who are presently assessing the numerous locations city-wide that have experienced similar storm damage issues.

Whilst I appreciate your concerns my team's initial comment is that your block is not a priority risk when compared to some others.

That said I will look to send a long a small team as quickly as possible to review and look at requirements/implications for cordoning off and removing any grounded tiles.

You will appreciate that the height of the block will require scaffold access to remove any remaining debris.

I will try to get along tomorrow at some point to see for myself.

Regards

[REDACTED]
Acting Head of Construction
Neighbourhood Services
Dundee City Council

e [REDACTED]
m [REDACTED]

From: [REDACTED]

Sent: 02 December 2021 16:22

To: [REDACTED] [dundeecity.gov.uk](mailto:[REDACTED]@dundeecity.gov.uk)>

Subject: Sorry about that just to say have a few concerns from the older residents about tiles sitting on the roof in back green ready to slip down can you please Corden of the areas affected with some tape just so they can stay clear of that zone walking there...



Gregory Colgan – Chief Executive

Chief Executive's Department
 21 City Square
 DUNDEE
 DD1 3BY

Email: gregory.colgan@dundee.gov.uk

Email: [REDACTED]

Our Ref: GTC/FT
 Your Ref:
 Date: 15 December 2021

Dear [REDACTED]

I refer to your email of 7 December 2021.

A response to your complaint about work to the roof at [REDACTED] Clepington Road was sent on 15 November 2021 by Robin Presswood, Executive Director of City Development. Mr Presswood upheld aspects of your complaint but also advised you of your right to take your complaint to the Scottish Public Services Ombudsman if you remained dissatisfied.

Mr Presswood also explained that officers planned to take a report to the Council's Policy and Resources Committee, informing elected members that a review of working practices on a number of roofs installed by Construction Services between 2015 and 2019 had concluded that the work did not meet best practice as set out in the British Standards.

That report was submitted to Committee on 26 November and set out:

- work to be undertaken to bring the affected roofs up to standard
- measures put in place to ensure specification, execution and management of construction works is undertaken to appropriate industry standards
- a wider review of arrangements - within the Design and Property Division, Construction Services and Housing - to ensure that new or changed legislative and regulatory requirements are identified and addressed

When the report was discussed by elected members, they also required officers, in addition to the involvement of the Council's internal audit service in the review mentioned above, to obtain an independent and external view. This is to provide assurance that any and all failures identified within the report and any subsequent findings that stem from the further internal and external investigations are fully addressed. Such work should reinforce accountability, transparency and confidence in service delivery. Elected members instructed that this work should be completed as soon as possible, with an update on progress by the end of February 2022 and subsequent referral to the Council's Scrutiny Committee.

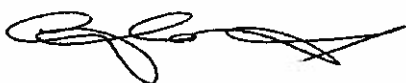
While this work is underway it would obviously be inappropriate for me or any other officers to provide further information on responsibility for the situation with the roof works or any action to be taken as a result.



Once the audit work and independent review have been concluded, there will be a further report to Committee and any appropriate action and learning will be taken at that time. For this reason, there is nothing further that I or other officers can tell you at this stage. I am told by colleagues that you have been sending emails on a regular basis. Whilst I understand your frustrations I have advised officers not to respond to matters already covered in your complaint or that may be addressed by the reports, current and future.

As previously advised, should you remain dissatisfied with the handling of your complaint you can still escalate this to the Scottish Public Services Ombudsman. If contacted by the Ombudsman, we will provide details of the work which is underway both to remedy the situation with the roofs and to investigate further the reasons why this happened and any action needed as a result.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Gregor Colgan', with a long, sweeping horizontal stroke extending to the right.

Gregor Colgan
Chief Executive

Statement

██████████ – Service Manager

Telephone Call 17.02.2020 with ██████████

I returned ██████████ telephone call. He provided me with an update and said since the roof has been installed 6 weeks ago, tiles have come off at 216 just last night. I explained we are currently rectifying the tiles which have come off in the severe weather yesterday and scaffolding has been erected for this repair to be carried out. I explained we are responding as we would to any other emergency repair similar.

He highlighted that when he met with the COW on 08.01.2020 they discussed how the tiles had not been nailed to the roof and showed ██████████ and ██████████ 7 videos of this. At this interview ██████████ advised the COW ██████████ confirmed he had signed off the roof and apologised to ██████████ for the poor standard. ██████████ had highlighted to ██████████ that he had not been on the roof. ██████████ had promised ██████████ that he would review this and come back to him within 2/3 days. ██████████ states he has this conversation recorded which he confirmed with ██████████ and ██████████ at the beginning of the conversation.

██████████ advised neither ██████████ responded as promised which was then when he contacted ██████████ and scheduled an interview with ██████████. He said this meeting was to try and resolve the issue and again he showed the videos to which ██████████ agreed the standard was unsuitable. I confirmed it was following this that his complaint was raised as S1. However due to the complexity of this we have escalated his S1 and are now investigating as a stage 2 complaint.

██████████ asked me if I thought the roof was safe at this stage and I explained this is what we are currently investigating as part of the S2 and in addition we are reviewing the materials used which he confirmed formed part of his S1 complaint. I explained at this point I do not have an outcome to his S2 but confirmed we will respond as we have on an emergency basis to carry out repairs as required.

██████████ said he wanted to be up front and said that today he has contacted the H&S Executive to report his concerns. He also has a meeting tomorrow with his MSP Shona Robison. In addition he has an interview scheduled for tomorrow at 11am with ██████████ Reporter DC Thomson.

I confirmed as soon as we have reviewed his S2 I will be in contact with him. He highlighted he is available for any further discussions as required. He states he cannot sell his property at this time due to the condition of the roof and he suggested following his FOI that other roofs will be in the same condition.

Statement

██████████ – Service Manager

Telephone Call 28.02.2020 with ██████████

Telephoned ██████████ to advise the tiles which came off the roof were reinstated on 19.02.2020. No answer and so voicemail left asking to return call.

16.15

Telephoned ██████████ to advise the tiles which came off the roof were reinstated on 19.02.2020. He said he was aware. He asked for an update on our investigations which he thinks are ridiculous that they are ongoing. I advised in regards to his overall Stage 2 we anticipate to update him no later than 11.03.2020. He went on to state he never signed anything to escalate to Stage 2 and I explained he did not need to and where an issue can't be rectified or investigated at stage 1 due to the complexity means we can escalate to Stage 2 (in line with the Obudsman guidance). He said residents are fearful to walk out there house and in addition he has spoke to his solicitor who is concerned no one will get a mortgage on his property and he would need to undertake a cash sale which would mean him losing £15,000. I explained we are taking these concerns seriously and will look to provide a response asap. Meantime we will respond to emergency repairs as we have already.

██████████ advised he was watching the roofers at Wedderburn and they had no hard hats, harnesses and are not using the suppression on the "still saws" to cut tiles. ██████████ explained this is not good practice and roofers should be undertaking the works in line with H&S. I confirmed I would be noting this to discuss the concerns and take any necessary action with DCS Management Team. **(Follow up – Raised with ██████████ to investigate and f/b).**

██████████ confirmed he would be updating his solicitor of our telephone call.

Statement

██████████ – Service Manager

Telephone Call 06/03/2020 with ██████████

Advised ██████████ I was phoning to update him on our discussions earlier that week about Wedderburn observations. I confirmed I raised this with ██████████ and ██████████ Head of DCS. I confirmed their response was:

1. The men had their hard hats up on the scaffold with them, it is not a requirement under H&S regs. to wear them on the roof.
2. The use of a harness is not required as the working platform of the scaffold forms the fall arrest system to protect the men.
3. The men have got the water bottles for the dust suppression with them at all times, it is stated with in the risk assessment they must be used.

A reminder has been given to all to ensure they use dust suppression and adhere to H&S. The Teams will monitor this going forward. ██████████ said DCS were ██████████ us and this is not the case. He knows H&S regs and the trades are not adhering. In addition he states they didn't adhere when they were on site at Clepington Road.

In relation to his Stage 2 I explained throughout this week we have been attempting to conclude the complaints relating to Clepington Road roofs and discussed with Heads of Housing, City Dev and DCS. However there are further enquiries which need to be carried out before we can conclude matters and so it is unlikely we will meet the S2 outcome of 11.03.2020 and instead would hope to conclude on 16.03.2020. ██████████ was not satisfied with this update and thinks we are "dragging our heels due to costs". He asked why ██████████ – said back on 08/01/2020 that this was a serious matter and he would get f/b in a few days which he never. I apologised for this. He said the longer this takes the more he cannot sell his house as no one would get a mortgage and loose money on cash deal.

██████████ said he knows what the figures are and said it would cost around £200k to conclude this from installation to repairs. I tried to assure him that the decision doesn't come down to cost. The investigation will look at the complaint in its own merit to assess and come to an outcome regardless of cost. But to conclude matters we need to ensure we have reviewed matters in the entirety so we can clearly explain and conclude his complaint.

██████████ advised he has the spec for the batons used and said we "shouldn't embarrass ourselves" as he know they are not to standard. I confirmed we are reviewing materials used along with the evidence as part of his complaint. In addition he said the letter he signed for the grant said a building warrant should have been obtained for this roof and he cannot identify if one was sought. Confirmed I would look into.

██████████ concluded by stating he was sending a letter direct to David Martin along with a memory stick with the videos of the loose tiles. He thinks about 90% are loose. He confirmed he is sending this recorded delivery.

Thanked ██████████ for his time.

David Simpson
Head of Housing & Communities

Neighbourhood Services
5 City Square
Dundee
DD1 3BA

Tel: [REDACTED]
Email: [REDACTED]

Our Ref: DS/EH

Your Ref:

Date: 19 March 2020

Dear [REDACTED]

**Roof Replacement – 212-220 Clepington Road, Dundee
Stage 2 Complaint Ref 9722**

I refer to your recent complaint about works to renew the roofs at the above location and my most recent letter, dated 13 March 2020.

I felt that it was appropriate to further update you that due to the impact of the current Coronavirus outbreak on all Council services I am unable to say when our investigations into the issues around these roofs will be concluded.

We remain committed to resolving this matter as soon as possible but you will appreciate that we are in very challenging times which mean that certain elements of work are having to be prioritised ahead of others.

We will come back to you as soon as we can.

Yours sincerely

[REDACTED]
David Simpson
Head of Housing and Communities

- Copies:
- [REDACTED] – Service Manager Housing
 - [REDACTED] Service Manager Construction
 - [REDACTED] Head of Design & Property Services



Sign up at my.dundeeccity.gov.uk

Property Factor Registration Number PF000176



Statement

██████████ - Service Manager

Telephone Call 13/07/2020 with ██████████

Following receipt of an incident report to ██████████ on 08/07 regarding a CS Staffing incident where it is alleged a member of staff named ██████████ has on two occasions shouted abuse to him in the street.

On the first incident ██████████ stated ██████████ drove passed him and shouted from his vehicle "You're a ██████████". There was no witnesses to this event.

On the second occasion, 08/07/2020 around 12.15 when ██████████ was speaking to his neighbour ██████████ from the private houses across the road - ██████████ drove passed and made a hand gesture and shouted to ██████████ that he ██████████

██████████ explained in the first instance he would be satisfied if we addressed this with ██████████ however if he denies this then he would encourage us to contact his neighbour to verify these events. I confirmed we will investigate and do so in the first instance however write to his neighbour asking she contacts if required.

██████████ asked for progress on his complaint made pre lockdown. I explained ██████████ Head of H&C is off this week however I would look to convene a meeting with him, ██████████ and ██████████ to confirm a timeline in respect of the response to his complaint and feedback by 24/07/2020. I advised this is not to conclude the complaint but in fact to advise a timeline for this.

14.07.2020

Telephoned ██████████ and advised I have discussed with ██████████, Head of Construction Services and the complaint about the conduct of a Construction Services employee will be investigated as part of our disciplinary processes. ██████████ is ok with this response.

I advised we will respond to him next week in terms of the timeline for responding to the corporate roofing complaint. He advises we are dragging our feet on this. I explained the impact of Covid-19 delaying the response and we are working in partnership across the services to conclude this. He explained he has spoken to neighbours about their complaints (I highlighted I could not comment on other complaints given the GDPR implications) however he states they collectively will look to take to Solicitors and the press if this is not concluded asap.

Advised I will discuss with him next week.

David Simpson
Head of Housing & Communities

Neighbourhood Services
5 City Square
Dundee
DD1 3BA

Tel: [REDACTED]
Ema [REDACTED]

Our Ref: DS/EH

Your Ref:

Date: 19 May 2021

Dear [REDACTED]

Corporate Complaint 10493

Following our Stage 1 response to your complaint, you confirmed that you remained dissatisfied with the response in respect of the chimney condition at the time your roof was renewed. Your complaint was escalated to Stage 2 of the Councils Complaints procedures.

I have now investigated your Stage 2 complaint. Within my investigations, I reviewed the photographs that you shared with [REDACTED] – Service Manager, Housing and have also had these photographs assessed by technical colleagues to determine whether the condition of the chimney within the photographs could have reasonably been in this condition when the roof was renewed. I am satisfied that the evidence you have presented along with the opinion of qualified colleagues that this chimney should have been repaired when the roof was renewed. These repairs have now been carried out at no cost to you or other owners.

Therefore, I uphold your complaint and the service will investigate why this chimney was not repaired at the original roof renewal.

You also requested a copy of the completion certificate which is completed when the roof is finished. I have attached this for your information.

If you are not satisfied with my response, you may wish to take your complaint to the Scottish Public Services Ombudsman who can carry out an independent review. The Scottish Public Services Ombudsman (SPSO) is the final stage for complaints about public services in Scotland. This includes complaints about Scottish Councils. If you remain dissatisfied, you can ask the SPSO to look at your complaint.



Sign up at my.dundeeccity.gov.uk



2

The SPSO cannot normally look at complaints:

- where you have not gone all the way through the council's complaints handling procedure;
- more than 12 months after you became aware of the matter you want to complain about, or
- that have been or are being considered in Court.

The SPSO's contact details are:

Freepost SPSO

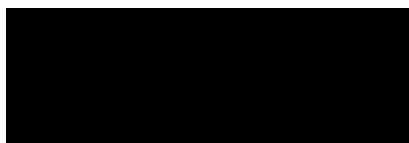
Freephone: 0800 377 7330

Online contact: [www.spsso.org.uk/contact us](http://www.spsso.org.uk/contact-us)

Website: www.spsso.org.uk

Mobile site: <http://m.spsso.org.uk>

Yours sincerely



David Simpson

Head of Housing and Communities

Please tell us about your complaint, including what has gone wrong and what outcome you are seeking

I WISH TO COMPLAIN ABOUT MR DAVID SIMPSON WHO IS IN CHARGE OF CORPORATE COMPLAINTS. MY COMPLAINT IS THIS MAN IS INCOMPASANT IN HIS JOB AND HIS ATTITUDE TO THE GENERAL PUBLIC MY SELF. HE HAS TAKEN 21 MONTHS TO INVESTIGATE AS MY ROOF WAS BOTCHED BY COUNCIL SLATERS OR ROOFERS AND THE EVIDENCE IS QUITE CLEAR TO SEE. THE COUNCIL HAVE NOT CARRIED OUT TO BRITISH CODE STANDARDS BS 5534.

If you have already spoken to someone about this complaint, please tell us who and when

Please give us your contact details

Name

Address

Tel No:

Email:

and if you would like us to contact someone else about your complaint (e.g. a relative, friend or advisor) give us their contact details

Name

Address

Tel No:

Email:

for official use only

Date received _____


Complaint system ref no _____

Return form to: Freepost RSSY - BELC - USTB
Dundee City Council
Customer Services
50 North Lindsay Street
DUNDEE
DD1 1QE



Scan here

IN WHICH YOUR LAWYERS HAVE SAID THE EVIDENCE AND MY LAWYERS. HE KEEPS TELLING ME IT'S UNDER INVESTIGATION SO LONG IT DOES NOT TAKE 2 MONTHS I HAVE ASKED HIM COUNTLESS TIMES TO SEND A CORPORATE COMPLAINT FORM TO ME AND HE REFUSES TO DO SO I HAVE ALSO ASKED HIM FOR AN EXPLANATION WHY HE IS TAKEN 2 MONTHS AND HE REFUSES TO TELL ME. I HAVE ALSO ASKED HIM FOR OUR COMPLETION CERTIFICATE FOR THE ROOF AS THE CLERK OF WORKS HAS SIGNED OFF AS COMPLETE. ALL THE OTHER RESIDENCES HAVE HAD THEIRS COMPLETION CERTIFICATE BUT WE DON'T HAVE OURS. CAN YOU EXPLAIN THIS TO ME. I HAVE ALSO ASK FOR MRS SWIRLING E. MAIL. AND HE HAS REFUSED. ME. I WANT A CORPORATE COMPLAINT FORM SENT TO ME AS THIS IS NOT A CORPORATE COMPLAINT FORM. IT IS YOUR PUBLIC DUTY TO SEND ME ONE



Neighbourhood Services - Housing & Communities
5 City Square
Dundee
DD1 3BA

Contact
Position
Section
Tel
Email

Date 06 Sep 2021

Dear [REDACTED]

Re : Acknowledgement of complaint Reference No. 10851
Complaint subject: Complaint

***** During the pandemic we may not be able to respond to complaints within normal target timescales while officers are focusing on delivering priority services. *****

Thank you for telling us about your complaint. The complaint was registered on Monday, 6th September 2021 and has been passed to [REDACTED] for action.

The Council aims to respond to most complaints within 5 working days, so the target for completion of this complaint is Monday, 13th September 2021. If we can't fully respond to your complaint within the target time we will let you know.

If you have any enquiries with regard to the complaint, or you wish to submit further information regarding it, please do not hesitate to contact the member of staff named above at the telephone number shown. Please quote the complaint reference number '10851'.

Throughout this process, you also have the right to seek independent advice from a Citizens Advice Bureau, Advice Centre, solicitor etc if you feel this would be of benefit to you. If your complaint is regarding the Sheltered Housing Service or Housing Support Service you also have the right to complain directly to the Care Inspectorate, Compass House, 11 Riverside Drive, DUNDEE DD1 4NY Tel: 01382 207200.

Yours sincerely



Recycled Paper



Elaine Zwirlein
Executive Director of Neighbourhood Services

Neighbourhood Services
5 City Square
Dundee
DD1 3BA

Tel: 01382 434538
Email: elaine.zwirlein@dundeeccity.gov.uk

Our Ref: **EZ/KK/Corp Comp. 10851**

Your Ref:

Date: **10 September 2021**

Dear [REDACTED]

Stage 1 Corporate Complaint 10851

I refer to your complaint, received 6 September 2021, regarding your roof and the Head of Housing & Communities responses to your various enquiries.

Having reviewed your various emails to Mr Simpson, I am satisfied that he has responded appropriately, based on the information available, on your substantive issue - the standard to which the roof replacement at your address has been completed.

Mr Simpson has advised you that this matter remains under investigation and that you will be advised once the investigation is complete. While I would accept that it has taken longer than desired to resolve this matter I would point out that we have had a global pandemic during this period and this has impacted on this and other matters.

Mr Simpson has dealt with your emails when received and has tried to explain that you do not need to fill out a corporate complaints form for us to consider your concerns.

Regardless of this offer, he recently sent you the paper copy of our complaints process which you have now used and to which I am responding today.

Our normal practice is to issue a letter to residents at the point of practical completion but I note that Mr Simpson has provided you with a copy of the practical completion certificate for the works undertaken following a request from you. Having taken advice from the Council's Information Governance Manager, the copy that you were sent was redacted to remove any personal sensitive data relating to staff involved in the preparation of the certificate.

Having reviewed the relevant information, I am satisfied that Mr Simpson has responded to your various enquiries and has accurately advised you regarding the ongoing investigation into the works at your roof.

I will ensure that you are advised of the outcome of the investigation once this is available.

As a result of the above, I do not uphold your complaint.



If you are not satisfied with this response, you have the right to have your complaint considered by Robin Presswood, Executive Director of City Development, Dundee City Council, Floor 6, Dundee House, 50 North Lindsay Street, Dundee DD1 1LS [e-mail: robin.presswood@dundeecity.gov.uk]. Should you wish to do this, you should write or e-mail the Executive Director of City Development stating your reasons and a reply will be sent to you within 20 working days.

Full details of our Complaints Procedure are available online at www.dundee.gov.uk/complaints or you can pick up a leaflet at any Council office.

Yours sincerely,

A solid black rectangular box used to redact the signature of Elaine Zwirlein.

Elaine Zwirlein
Executive Director of Neighbourhood Services

Executive Director
City Development

Dundee House,
50 North Lindsay Street, Dundee DD1 1LS

If calling, please ask for
Robin Presswood, telephone 01392 433610

Email: robin.presswood@dundee.gov.uk

Our Ref: RP/KAS

Your Ref:

Date: 15 November 2021

By email to:

Dear

CORPORATE COMPLAINT REFERENCE NUMBER: 10851

Many thanks for taking the time to speak to me on Tuesday 2 November 2021. I am grateful that you gave me the opportunity to understand your perspective on the complaint that you have raised.

In my email of 4 October, I defined the focus of the Stage 2 complaint as being:

1. failure to adequately fix the roof during the communal roof replacement at 214 Clepington Road;
2. your belief that the failure to comply with the British Standard is a breach of Health and Safety Regulations; and
3. your request that the council supply a copy of the completion certificate for the works done on the communal roof at Clepington Road.

When we met you also highlighted your concern about the Council's failure to carry out remedial works to the chimneys on the communal roof. I indicated that although I shared your concern about this matter, as it had already been considered by David Simpson in his response to your corporate complaint (19 May 2021) in which he upheld your complaint, we could not consider this matter again as part of this corporate complaint.

I asked you what remediation you were seeking from the complaints process, and you highlighted first and foremost a desire to see the works carried out as soon as possible to bring the roof into line with the appropriate British Standard.

I indicated that my complaint resolution would look at each of these issues in turn, and at the end of it we would include text of your right to appeal to the Scottish Public Services Ombudsmen, but you indicated your intention to take your complaint to the tribunal under the Property Factors (Scotland) Act 2011 in the event that you cannot get satisfaction from the Council's complaints process. Thank you again for providing additional information on this in follow up emails the same day.



15 November 2021

I have considered each aspect of your complaint and my response is as follows:

1. failure to adequately fix the roof during the communal roof replacement at Clepington Road.

The Council has been considering this matter extensively since the issue was first identified in 2019. This review has taken a considerable period of time, and I know this has been frustrating for you. I apologise for the length of time it has taken to conclude this matter – as you can imagine there has been a significant impact caused by COVID-19 and the need to take independent advice.

I am now able to confirm that the Council will consider a report at the Policy and Resources Committee on Monday 22 November 2021, which addresses this matter. The report concludes that the investigated roofs do not fully comply with BS 5534 in respect of how the tiles are fixed to the roof structure. The concrete roof tiles were not fully mechanically fixed.

The recommendations in the report include that the Council should carry out works to bring the affected roofs (a total of 450 roofs) up to the standard recommended in British Standards.

I therefore uphold this aspect of your complaint.

2. your belief that the failure to comply with the British Standard is a breach of Health and Safety Regulations.

The Council takes its duties under the relevant Health and Safety legislation extremely seriously, and has reviewed this aspect of the issue very thoroughly. As you may be aware, British Standards are not legally binding, but do represent best practice, and the Council normally seeks to comply with them. The works carried out on the affected roofs does comply with the pre 2015 British Standard.

As part of the investigations both by Council Officers and the BRE, wind speed data was obtained from the Tay Road Bridge records to determine wind loading experienced by roofs in service since 2015 that were not installed to the current requirements of BS5534. The data indicated that there had been significant wind events during the period in question that may have resulted in anticipated roof damage. Notwithstanding the non-compliance with BS5534 for fixings requirements, the affected roofs had not experienced consequential tile loss during this period. Reported individual roof tile defects on the affected roofs are tabulated below for information.

Year	2015	2016	2017	2018	2019	2020	2021
Recorded Roof Tile Defects	1	1	0	0	0	4	0

The opinion is that the non-compliance in fixings presents no short-term integrity concerns. However, it is recognised that these roofs will require remedial works to bring them to full compliance for long-term integrity.

As there is no evidence of any Health and Safety issues caused by the failure to update working practices, I do not uphold this aspect of your complaint.

3


15 November 2021

3. your request that the council supply a copy of the completion certificate for the works done on the communal roof at  Clepington Road.

We discussed this matter during our phone call. I highlighted that David Simpson, the Head of Housing and Communities had previously supplied you with a Completion Certificate in his email of 19 May 2021 in which he upheld that complaint. I understand that the completion certificate supplied is the normal document for this type of works.

I hope that this is helpful.

The Scottish Public Services Ombudsman (SPSO) is the final stage for complaints about public services in Scotland. This includes complaints about Scottish councils. If you remain dissatisfied, you can ask the SPSO to look at your complaint.

The SPSO cannot normally look at complaints:

- where you have not gone all the way through the Council's complaints handling procedure
- more than 12 months after you became aware of the matter you want to complaint about, or
- that have been or are being considered in court

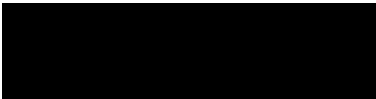
The SPSO's contact details are:

SPSO, Bridgeside House, 99 McDonald Road, Edinburgh, EH7 4NS
Freepost SPSO
Freephone: 0800 377 7330
Online contact www.spsso.org.uk/contact-us
Website: www.spsso.org.uk
Mobile site: <http://m.spsso.org.uk>

Full details of our Complaints Procedure are available online at

www.dundee.gov.uk/complaints or you can pick up a leaflet at any Council office.

Yours sincerely


ROBIN PRESSWOOD
Executive Director of City Development

Roger Seaman,
Housing Asset Manager

Neighbourhood Services
West District Office
3 Sinclair Street
Dundee
DD2 3DA



If calling, please ask for
[Redacted]

Email [Redacted]

Our Ref: [Redacted]

Your Ref:

Date: 09 February 2022

Dear [Redacted]

Stage 1 Complaint: 9722

Further to my earlier response I am still waiting on an update from my counterparts in Environment Department Construction Services and City Development and hope to have a response soon which answers all your points.

Yours sincerely



Copy to: Housing Asset Management Unit



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APPENDIX 4

Completion Documentation for Camperdown 2nd Development and Clepington Road Phase 1

Clerk of Works Weekly Report Week ending 30 October 2015 Camperdown Roof Replacement Second Phase Page 93

Certificate of Practical Completion Camperdown Roof Replacement Second Phase Page 95

Clerk of Works Weekly Report Week ending 13 December 2019 Clepington Road Development Phase 1 Page 96

Certificate of Practical Completion Clepington Road Development Phase 1 Page 99

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Project Reference

15-513

Client

Project Title/Description

Camperdown Roof Replacement 2nd Phase

CLERK OF WORKS WEEKLY REPORT

GENERAL

PERSONNEL	
Project Administrator	
Contractor	ECS
Clerk of Works	
Site Supervisor	

Report Number	10
Week Ending	30/10/2015
Contract Start Date	10/08/2015
Contract Completion Date	19/10/2015
Progress Against programme	On programme

Weather Report	Day	A.M.	° C	P.M.	° C	Man hours lost
	Monday	Fair	6	Sun	11	
	Tuesday	Fog	12	Drizzle	12	
	Wednesday	N/A				
	Thursday					
	Friday					
	Saturday					
	Sunday					
	Total man hours lost in week					
	Total to date					

INFORMATION

Drawings and info required (if none write none)	
Attachments to Report (if none write none)	
Difficulties (including shortages which may cause delays and action taken)	
Digital Photo Record	
Visitors	

Project Reference

--

SUMMARY OF WORK IN PROGRESS							
Work	%	Work	%	Work	%	Work	%
Preliminaries		Suspended Floor		Plastering		Ceiling grid/tiles	
Downtakings		Roof Structure		Render		Decoration	
Excavations		Roof Coverings		Plumbing 1st fix		External works	
Piling		Brick/Block Ext		Plumbing 2nd fix		Lifts	
Foundations		Brick/Block Int		Floor Screed		Mains : Gas	
Concrete Structure		Joiner 1st fix		Electrical 1st fix		Electric	
Steel Erection		Joiner 2nd fix		Electrical 2nd fix		Water	
Ground Floor		Cladding		H&V 1st fix		Telecom	
Drainage		Window /glazing		H&V 2nd fix		Defects/Handover	
Timber Frame				Floor coverings			

GENERAL REPORT		
26/10/2015		
Scaffold still up at number 38 .		
27/10/2015		
Scaffold removed all works completed .		
3 houses remain to be done because of stoppage due to Electrical Cables overhead		
1 Brownhill Place		
7 Brownhill Place		
13 Liff Crescent.		
Any incidents contrary to good environmental management practice	(yes/no)	
Use waste from construction sites form F535*	(yes/no)	
Use sustainable timber form F530	(yes/no)	

CIRCULATION	DATE		DATE
Received by Principal Clerk of Works		Received by Project Administrator	

Clerk of Works		30/10/2015
----------------	--	------------

Project Title: CAMPERDOWN 2ND DEV ROOF RENEWALS, DUNDEE

Practical Completion

Client: Director of Housing
Address: floor 1 Dundee House

Project Ref: 15/513/GBP

Contractor: Environment Department
Address: Dundee City Council, 353 Clepington Road, Dundee

Certificate No: 01

Issue Date: 25/07/16

Contract Dated: 10/06/15

Under the terms of the above-mentioned Contract.

I/we hereby certify that Practical Completion of

†Delete as appropriate

ALL WORKS

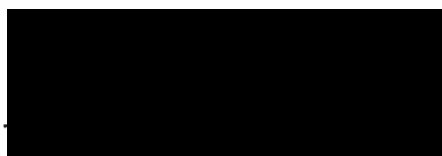
was achieved on

25TH July 2016

	Yes	Date	N/A
Building Warrant Applicable and Obtained			X
Electrical Certificate of Compliance Obtained			x
Building Control Certification of Completion Applied For			X

To be signed for and
on behalf of the issuer
named below

Signed



Distribution

Original to:

Client

Copies to:

Contractor

M&E Services

City Development

(For non-housing projects only)

Quantity Surveyor

Engineer

City Dev

Nominated Sub-Contractor

Clerk of Works

File

DUNDEE CITY COUNCIL

City Developments
M.Galloway, Director

ARCHITECTURAL SERVICES
Rob Pedersen
City Architectural Services Officer
Floor 5 Dundee House
South Lindsay Street, Dundee DD1

Telephone: 01382 43 3360
Fax: 01382 433263

F 022 CLERK OF WORKS WEEKLY REPORT

Project Nr		Project Title	
Client Ref			

To be completed by lead COW's	To be completed by all COW's
--------------------------------------	-------------------------------------

GENERAL			
PERSONNEL		Report Number	9
Supervising Officer		Week Ending	13/12/2019
Contractor	edcs	Contract Start Date	16/10/2019
Clerk of Works		Contract Comp. Date	tbc
Site Supervisor		Predicted Comp. Date	
Site Phone No		Progress Against Prog.	
		Emergency Phone No.	

WEATHER REPORT					
Day	AM	°C	PM	°C	Hours Lost
Monday	dry	dry			
Tuesday	dry	rain			
Wednesday	dry	rain			
Thursday	dry	showers			
Friday	dry	dry			
Saturday					
Sunday					
Total Hours Lost (in week)					
Total Hours Lost (to date)					

INFORMATION	
Drawings and Info required (if none write none)	
Attachments to Report (if none write none)	
Difficulties (including shortages which may cause delays and action taken)	
Digital Photo Record	
Visitors	

SUMMARY OF WORK IN PROGRESS							
	%		%		%		%
Preliminaries		Patent Roofing		Down Taking		Gas Mains	
Excavations		Steel Erection		Floor Covering		Electric Mains	
Concrete Foundations		Timber Frame		Floor Screed		Water Mains	
Piling		Joinery 1 st Fix		Mastic Application		Telecom Mains	
Foundations		Joinery 2 nd Fix		Lifts		External Works	
Asphalt Tanking		Window Fixing				Electrical 1 st Fix	
Asphalt Roofing		Glazing				Electrical 2 nd Fix	
Brickwork/Block External		Plastering				Heating 1 st Fix	
Brickwork/Block Internal		Metalwork				Heating 2 nd Fix	
Drainage		Decorating				Ventilation 1 st Fix	
Paving and Flooring		Ceiling grid/tiles				Ventilation 2 nd Fix	
Masonry		Roof Structure				Water 1 st Fix	
Slater and Tiler		Roof Covering				Water 2 nd Fix	
Suspended Floor		Cladding				Defects / Handover	
Concrete Structure		Render				Commissioning	

ANY INCIDENTS CONTRARY TO GOOD HEALTH AND SAFETY PRACTICE

ANY INCIDENTS CONTRARY TO GOOD ENVIRONMENTAL MANAGEMENT PRACTICE

	16/12/2019

Project Title: Clepington Road Development Phase 1, Dundee – Re-roofing

Practical Completion

Client: Director of Housing & Communities
Address: Dundee House, Dundee

Project Ref: 18-517

Contractor: Environment Dundee Contract Services
Address: Dundee City Council, 353 Clepington Road, Dundee

Certificate No: 01

Issue Date: 20.12.2019

Contract Dated: 5th June 2019

Under the terms of the above-mentioned Contract.

I/we hereby certify that Practical Completion of

†Delete as appropriate

ALL WORKS

was achieved on

20th December 2019

	Yes	Date	N/A
Building Warrant Applicable and Obtained			X
Electrical Certificate of Compliance Obtained			x
Building Control Certification of Completion Applied For			X

To be signed for and on behalf of the issuer

named below

Signed

[Redacted Signature]

Distribution

Original to:

<input checked="" type="checkbox"/>	[Redacted]	Client	Copies to:	<input checked="" type="checkbox"/>	[Redacted]	Contractor	<input type="checkbox"/>	[Redacted]	M&E Services	<input type="checkbox"/>	[Redacted]	City Development
<input type="checkbox"/>	[Redacted]	City Dev	<input checked="" type="checkbox"/>	[Redacted]	Quantity Surveyor	<input type="checkbox"/>	[Redacted]	Engineer	<input type="checkbox"/>	[Redacted]		
<input type="checkbox"/>	[Redacted]		<input type="checkbox"/>	[Redacted]	Nominated Sub-Contractor	<input checked="" type="checkbox"/>	[Redacted]	Clerk of Works	<input checked="" type="checkbox"/>	[Redacted]	File	

DUNDEE CITY COUNCIL
ARCHITECTURAL SERVICES
Ray Low
City Architectural Services Officer
Floor 5 Dundee House
South Lindsay Street, Dundee DD1

Telephone: 01382 43 3380
Fax: 01382 433263

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